

PUBLIC HEARING NOTICE

PLEASE TAKE NOTICE that a public hearing will be held as to the following matter:

Agency: Board of Appeals
Village of Thomaston
Date: July 11, 2024
Time: 6:00 p.m.
Place: Village Hall, 100 East Shore Road, Thomaston, New York

Subject: Case No. 22-02. Amended application of Neer Sachar, 10 Grace Court North, Thomaston, New York, in the Residential R-8 District, for variances to maintain living space which was formerly in a required garage, and to construct a detached garage. The applicants seek variances of (a) Village Code §203-27(A) to permit building area (lot coverage) of 27.8% where a maximum of 25% is permitted, 37(C)(2), (b) Village Code §203-27(B) to permit a floor area ratio of 0.43, where a maximum of 0.40 is permitted, and (c) Village Code §203-125, to permit a single-family dwelling with a one car garage, where at least two garage spaces are required. Premises are designated as Section 2, Block 333, Lot 010 on the Nassau County Land and Tax Map

Subject: Case No. 24-01. Application of Mohammed Ali, 9 Valley View Road, Thomaston, New York, for variances to permit construction of an enclosed porch on an existing lot in the Residential R-7 District. The Building Official has determined that the applicants require variances of (a) Village Code 203-35, to permit construction of the enclosed porch on an existing legal non-conforming lot with insufficient lot area and lot width, and (b) Village Code §203-37(C)(2), to permit such construction with a side yard of 13.4 feet where a minimum of 18.5 feet is required. Premises are designated as Section 2, Block 175, Lot 6 on the Nassau County Land and Tax Map

At the said time and place, all interested persons may be heard with respect to the foregoing matter.

This application is a Type II Matter under the State Environmental Quality Review Act, which requires no separate environmental impact review.

Any person having a disability which would inhibit attendance at or participation in the hearing should notify the Village Clerk at least three business days prior to the hearing, so that reasonable efforts may be made to facilitate such attendance and participation.

All relevant documents may be inspected at the office of the Village Clerk, 100 East Shore Road, Thomaston, New York, during regular business hours.

Dated: June 12, 2024

BY ORDER OF THE BOARD OF APPEALS

If so, of what type of construction frame

12. The present assessed valuation of the property is Land 829

Building(s) 5355

13. Are there any unpaid village taxes on the property? Yes No

If yes, for what years? _____

14. The applicant or owner(s) wish to make use of the property for the purpose of _____

residential

15. The Building Department of the Village of Thomaston denied an application for the proposed use on 05-13-2024 because the proposed use of the property violated the (date)

following sections of the Village Code: 203-27.A, 203-27.B, 203-125.A

16. The following sections of the Village Code give the Board of Appeals authority to grant the relief requested in this application: Village Code §203-138, §203-139

17. Description of the problem, or reasons for this application, which state a practical difficulty (in the case of a use variance) to support the relief sought in this application. (NOTE TO APPLICANT: This information is particularly important, and should constitute a complete statement of the grounds for the relief that is sought. Additional sheets may be used, if necessary, to give a full response.)

see attached Rider I

18. Has any previous application been made to the Board of Appeals for the relief sought in this application, or for relief similar to that sought in this application? Yes No

If yes, attach a description of each such prior application including:

- a. the date the application was made
- b. the date of the determination by the Board of Appeals
- c. the summary of the determination of the Board

19. Has any previous application been made to the Board of Appeals for any other relief with respect to the property which is the subject of this application? Yes No

If yes, attach a description of each such prior application including:

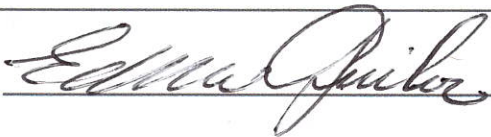
- a. the date the application was made
- b. the date of the determination by the Board
- c. the summary of the determination by the Board

20. Are there any outstanding violation notices affecting the subject premises? Yes No

21. Are there any pending court proceedings involving the subject premises? Yes No

THE UNDERSIGNED APPLICANT STATES UNDER PENALTY OF PERJURY THAT ALL STATEMENTS AND INFORMATION CONTAINED IN PAPERS SUBMITTED HEREWITH, ARE TRUE.

Name of applicant: Edna Guilor, AIA

Signature of applicant: 


Title of signer: Architect

Date: 5/15/2024

AFFIDAVIT OF PROPERTY OWNER

STATE OF NEW YORK:
COUNTY OF NASSAU:

The undersigned, Neer Sachar
being duly sworn deposes and says that the undersigned is the owner or an officer or member of the owner of the subject property, and resides at: 10 Grace Court North, Great Neck, NY 11021
in the State of New York; that the owner in fee of the property which is the subject of this application is as stated in the application; that if the owner is an entity the undersigned is owner and as such is an officer or member of the owner authorized to execute this application on behalf of the owner; that all statements made in this Application and all supplementary documentation are true and complete to Deponent's own knowledge.

X 

Sworn to before me this 18 day of January, 20 24

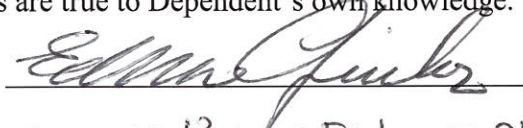

Notary Public

ERIC T. YITZHAK
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01C06256168
Qualified in Westchester County
Commission Expires June 26, 2024

AFFIDAVIT OF APPLCIANT

STATE OF NEW YORK:
COUNTY OF NASSAU:

Edna Guilor being duly sworn,
deposes and says: that the undersigned resides at 17 Ravine Road, Great Neck, NY 11021;
the undersigned is authorized by the owner of the property which is the subject of this application to make the above application and that all the statements made in this and all supplementary documents are true to Dependent's own knowledge.



Sworn to before me this 13 day of Feb, 20 24


Notary Public

ERICA T. YITZHAK
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02YI6269810
Qualified in Nassau County
Commission Expires October 9, 2024

AFFIDAVIT OF OWNER DESIGNATING AGENT:

STATE OF NEW YORK:
COUNTY OF NASSAU:

The undersigned, being duly sworn, deposes and says; I am the (owner, authorized officer or member of the owner) of the property which is the subject of this application; On behalf of the owner of the property I hereby authorize Edna Guilor with address at 17 Ravine Rd. Great Neck, NY 11023 to act as agent of the owner to make and affirm the preceding application and to enter into agreements with respect to the subject property; all of which acts will be done in the owner's name and the owner undertakes to be bound by any and all such agreements as if made by the owner.



Sworn to before me this 13 day of Feb., 20 24


Notary Public

ERICA T. YITZHAK
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02YI6269810
Qualified in Nassau County
Commission Expires October 9, 2024

**BOARD OF APPEALS
VILLAGE OF THOMASTON**

DISCLOSURE AFFIDAVIT
General Municipal Law § 809

In the Matter of the Application of

10 Grace Court North, Great Neck, NY 11021


**STATE OF NEW YORK:
COUNTY OF NASSAU**

Neer Sachar Being duly sworn, deposes and says:

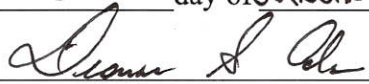
1. I am the (applicant) with respect to (owner of) the premises which are the subject of (cross out whichever is not applicable) the within application.
2. I make this affidavit for the purpose of comply with the requirements of General Municipal Law § 809
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of north Hempstead or the Village of Thomaston, and no party officer of any political party, had an interest in the within application with the meaning of General Municipal Law § 809, except as stated hereinafter (if none, state "NONE"):

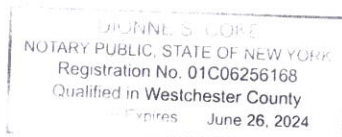
NAME	ADDRESS	POSITION	NATURE OF INTEREST
NONE			

4. In the event there is a change in the information set forth herein between the date hereof and the final determination of this application, a supplemental affidavit will be filed to provide that further information.

X 
Signature

Sworn to before me on
This 18th day of JANUARY, 2024


Notary Public



BOARD OF APPEALS

In the matter of the Application of 10 Grace Ct. N.
For Eddie Sachar, owner,
To the Board of Appeals of the
Village of Thomaston

RIDER 1 TO
APPLICATION

Response to:

1) **Sec: 203-27.A** – Except as set forth hereinafter, the building area shall not exceed 25% of lot area. In the case of any lot held in single and separate ownership at the effective date of this amendment and having an area of 6,000 square feet or less, the building area shall not exceed 35% of the lot area.

Maximum Building area: 25% = (2,434.25 sf)
Proposed Building area: 27.8% = (2,707.34 sf)

2) **Section 203-27.B.** – Maximum building area and floor area ratio. The floor area ratio on any lot shall not exceed 0.40.

Allowable floor area ratio: 0.40 = (3,018.96 sf)
Proposed floor area ratio: 0.43 = (3,264.95 sf)

3) **Section 203-125** – Schedule of Off-Street parking space requirements.

Required: Two car garage
Proposed: One car garage

A few years ago Mr. Sachar lost his wife after many years of fighting a hard disease. Mr. Sachar, a father to 3 girls decided to make some changes to the house to allow the family to live in the neighborhood they love, with a very hard emotional reality. In doing so he converted the attached 1 car garage the house had, to become part of his living space. Mr. Sachar did not know at the time that the Village of Thomaston requires each house to have an enclosed 2 car garage.

The attached proposal is to construct 1 ½ garage in the rear yard in lieu of 2 car garage. The reasons for proposing a 1 ½ car garage instead of 2 car garage is:

- 1) It brings the maximum building area 2.8% above permitted, 25% (273.09 s.f.). Therefore hereby requesting the board to approve requested variance from 203-27.A
- 2) It brings the maximum floor area ration 0.03 over permitted 0.04 (245.99 s.f.). Therefore hereby requesting the board to approve requested variance from 203-27.B.
- 3)

In the instant case, it is stated that:

1. No undesirable change will be produced in the character of the neighborhood and no detriment to nearby properties will be created by the granting of the variances.
2. The benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than a variance, but will inflict a financial burden.
3. Although the requested variances may or may not be insubstantial (obviously the applicants would contend, under the circumstances, that it is insubstantial), its adverse impacts, where possible, will be significantly mitigated by the use of landscaping;
4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

Accordingly, when weighing the benefit to the applicant if the variance is granted, against the detriment to the health, safety, and welfare of the neighborhood or community by such grant, it is respectfully contended that the applicant is entitled to the relief requested herein.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
10 Grace Ct. North, Great Neck, NY 11023			
Project Location (describe, and attach a location map):			
10 Grace Ct. North, Great Neck, NY 11023			
Brief Description of Proposed Action:			
1) Legalize conversion of garage to living space 2) Erect one car detached garage in lieu of one car attached garage converted to living space.			
Name of Applicant or Sponsor:		Telephone: 516-482-6777	
Edna Guilor		E-Mail: Guilor@aol.com	
Address:			
17 Ravine Road			
City/PO:		State:	Zip Code:
Great Neck		NY	11023
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.2234 acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.2234 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Nº 373

333-10+25

VILLAGE OF THOMASTON
Nassau County, New York

CERTIFICATE OF OCCUPANCY

VILLAGE OF THOMASTON

THIS WILL CERTIFY that an inspection of the building at
10 Grace Court North erected upon the premises known
as Lot No. 9 of Block No. 128
in accordance with Building Permit No. shows that these
buildings conform in all respects to this permit and with the Building Zone
Restrictions and the Building Code Ordinance as enacted by the Board of Trustees.

Therefore, this certificate is hereby granted for the occupancy of these build-
ings as one family dwelling

Underwriter's Certificate No. 206918

Dated: GREAT NECK, NEW YORK

September 6, 19 51

[Signature]
Village Clerk

Nº 444 333/10 & 25

VILLAGE OF THOMASTON
Nassau County, New York

CERTIFICATE OF OCCUPANCY

VILLAGE OF THOMASTON

THIS WILL CERTIFY that an inspection of the ~~structure~~.....
..... erected upon the premises known
as Lot No. 127..... of Block No. Q.....
in accordance with Building Permit No. ~~434~~..... shows that these
buildings conform in all respects to this permit and with the Building Zone
Restrictions and the Building Code Ordinance as enacted by the Board of Trustees,
and the variance granted by the Board of Appeals.

Therefore, this certificate is hereby granted for the occupancy of these build-
ings as ~~shed for the storage of garden tools, children's toys, bicycles,~~
household equipment and supplies.

Dated: GREAT NECK, NEW YORK

..... December 15 1932

[Handwritten Signature]
..... Village Clerk

12

CERTIFICATE OF COMPLETION

VILLAGE OF THOMASTON
100 EAST SHORE ROAD
GREAT NECK, NY 11023

(516)482-3110

No. 98-10

Date April 29, 1998

Applicant Robert E. Herman

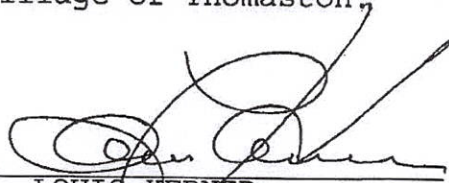
No. & Street 10 GRACE COURT NO.

Village Thomaston, Great Neck, New York 11021

Section 2 Block 333 Lot(s) 10 AND 25

This certifies that the work done at the above premises in connection with Building Permit No. 769, dated September 18, 1961, is completed and conforms with the applicable requirements of the Village of Thomaston.

Approved



LOUIS KERNER,
Building Inspector

This certificate is null and void if building, structure or use is altered or used for any purpose other than which it is certified.

**VILLAGE OF THOMASTON
100 EAST SHORE ROAD
GREAT NECK, NY 11023
(516) 482-3110
FAX (516) 829-5011**

June 2, 2021

April 22, 2021-**FIRST NOTICE**

Eva Sachar
10 Grace Court North
Great Neck, NY 11021

RE: **2ND NOTICE OF VIOLATION**
VILLAGE CODES §91-9 A and §203-125

Dear Ms. Sachar:

The Village has been made aware of a garage door being removed and enclosed with a solid wall, thereby leaving us to assume that you have converted your garage into living space.

You are currently in violation of Village Code §91-9A – Permit Required; Application Procedure and Village Code §203-125 – Schedule of Off-Street Parking Space Requirements (copies attached).

As an owner of a residence in this village for a number of years, you should be well aware that most construction requires a permit.

Had you obtained a permit application before the conversion of your garage, you would have been informed that you were not able to execute this work without a variance and a permit.

Please contact the Village Hall upon receipt of this letter to schedule a physical inspection of the premises with the Building Inspector.

Failure to do so will result in the issuance of an Appearance Ticket which will require you to appear in court.

BY ORDER OF THE BUILDING DEPARTMENT



Michael F. McNerney RA
Building Inspector

VILLAGE OF THOMASTON
100 EAST SHORE ROAD
GREAT NECK, NY 11023
(516) 482-3110
clerk@villageofthomston.org

May 13, 2024

Guilor Architects, P.C.
17 Ravine Road
Great Neck NY 11023

Re: **GARAGE CONVERSION TO LIVING SPACE/ONE CAR GARAGE**
10 Grace Court North
Great Neck NY
Sect. 2 - Block 333 - Lot 010– Zone R-8

Dear Applicant:

Please be advised that your application to maintain converted garage to living space, extend asphalt driveway in side and rear yard, build a detached a garage is herewith denied based on the following objections:

OBJECTION #1: The proposed is contrary to **Village Code § 203-27. A.** – Except as set forth hereinafter, the building area shall not exceed 25% of the lot area. In the case of any lot held in single and separate ownership at the effective date of this amendment and having an area of 6,000 square feet or less, the building area shall not exceed 35% of the lot area.

Maximum Building Area	Proposed Building Area
25% = (2,434.25 sf)	27.8% = (2,707.34 sf)

OBJECTION #2: The proposed addition is **contrary to Village Code § 203-27. B.** – Maximum building area and floor area ratio. The floor area ration on any lot shall not exceed 0.40.

Allowable floor area ratio	Proposed floor area ratio
.40 = (3,018.96SF)	.43 = (3,264.95 sf)

DENIAL LETTER

Re: **GARAGE CONVERSION TO LIVING SPACE/ONE CAR GARAGE**

OBJECTION #3: The proposed addition is in contrary to **Village Code §203-125. A.** Schedule of Off-Street Parking Space Requirements.

- A. Single-family dwelling: two, housed in a garage, except that a single-family dwelling having a floor area not exceeding 1,800 square feet shall have at least one housed in a garage.

REQUIRED	PROPOSED
Two Car Garage	One Car Garage

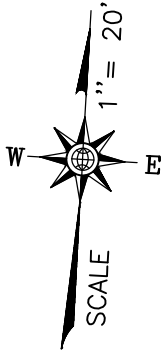
You may appeal this determination, or seek relief from the Village zoning regulations, by application to the Board of Zoning Appeals to request a variance from specific Village Code Sections as stated above. Application for appeal shall be made within 60 days of the date of this notice.

Sincerely,



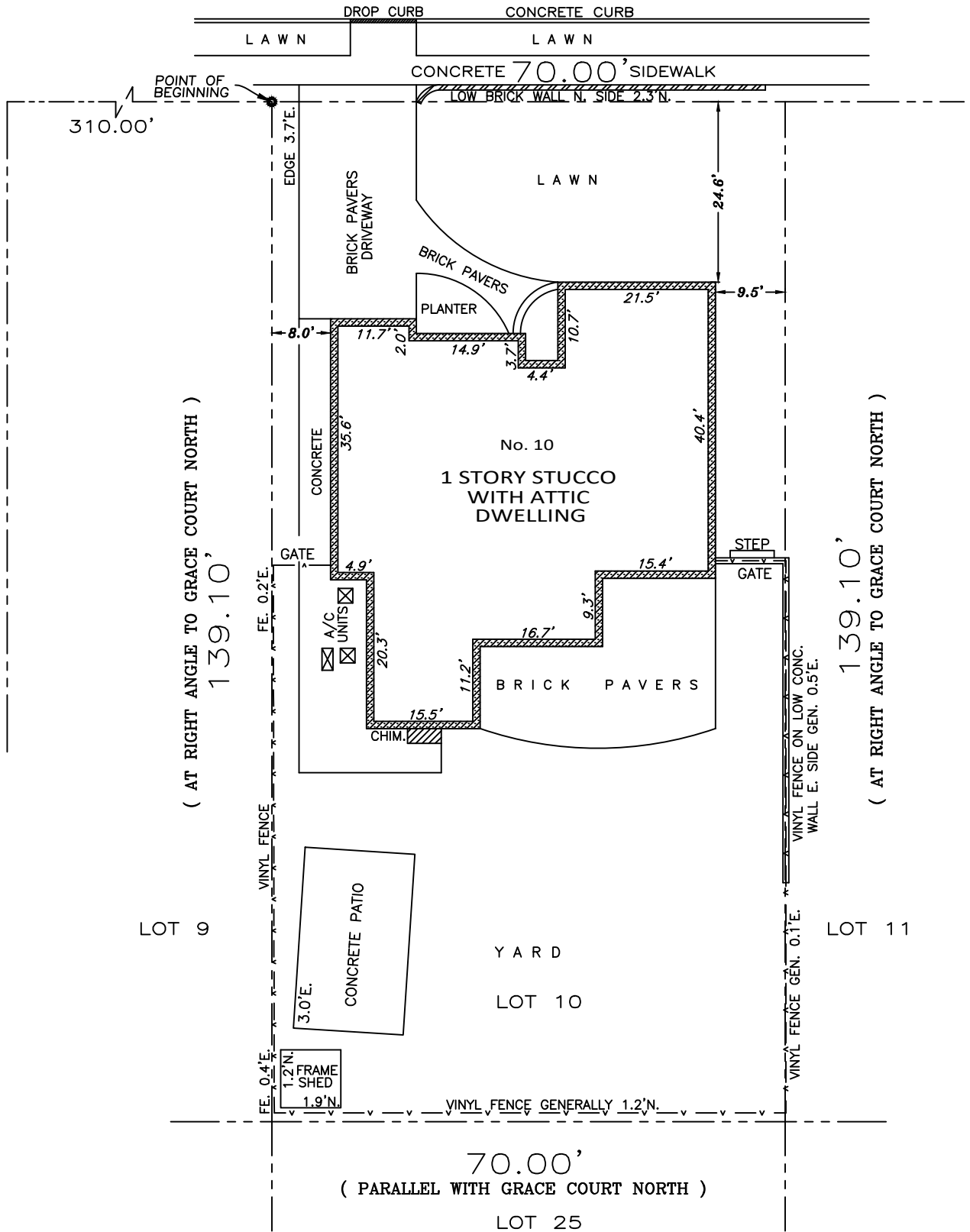
Michael McNerney RA
Building Inspector

cc: Mr. N. Sachar 10 Grace Court North, Great Neck NY 11021



GRACE COURT NORTH

GRACE COURT WEST



NOTES:

1. THIS SURVEY WAS PREPARED FOR THE VILLAGE OF THOMASTON DEPARTMENT OF BUILDINGS
2. PROPERTY CORNER MONUMENTS ARE SET ONLY WHEN ORDERED AT THE TIME OF SURVEY. EASEMENT NOT SHOWN ARE NOT GUARANTEED AND IS SUBJECT TO WHATEVER A MORE COMPLETE TITLE SEARCH MAY REVEAL
3. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE LAW.

No. 10 GRACE COURT NORTH
TOWN OF NORTH HEMPSTEAD & COUNTY OF NASSAU
STATE OF NEW YORK

Tax Map SECT.: 2

BLOCK: 333

LOT(S): 10

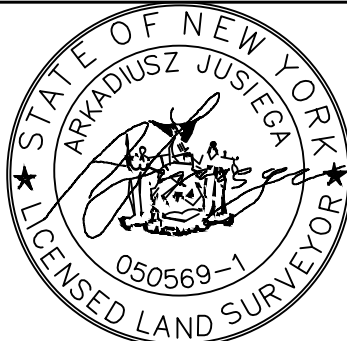
INCORPORATED VILLAGE OF THOMASTON

BOUNDARY SURVEY

DATE OF SURVEY: AUGUST 12th, 2020
DATE OF UPDATE: APRIL 28th, 2022
DATE OF UPDATE: APRIL 5th, 2024

CERTIFIED TO:

1. NEER SACHAR
2. THE VILLAGE OF THOMASTON DEPARTMENT OF BUILDINGS

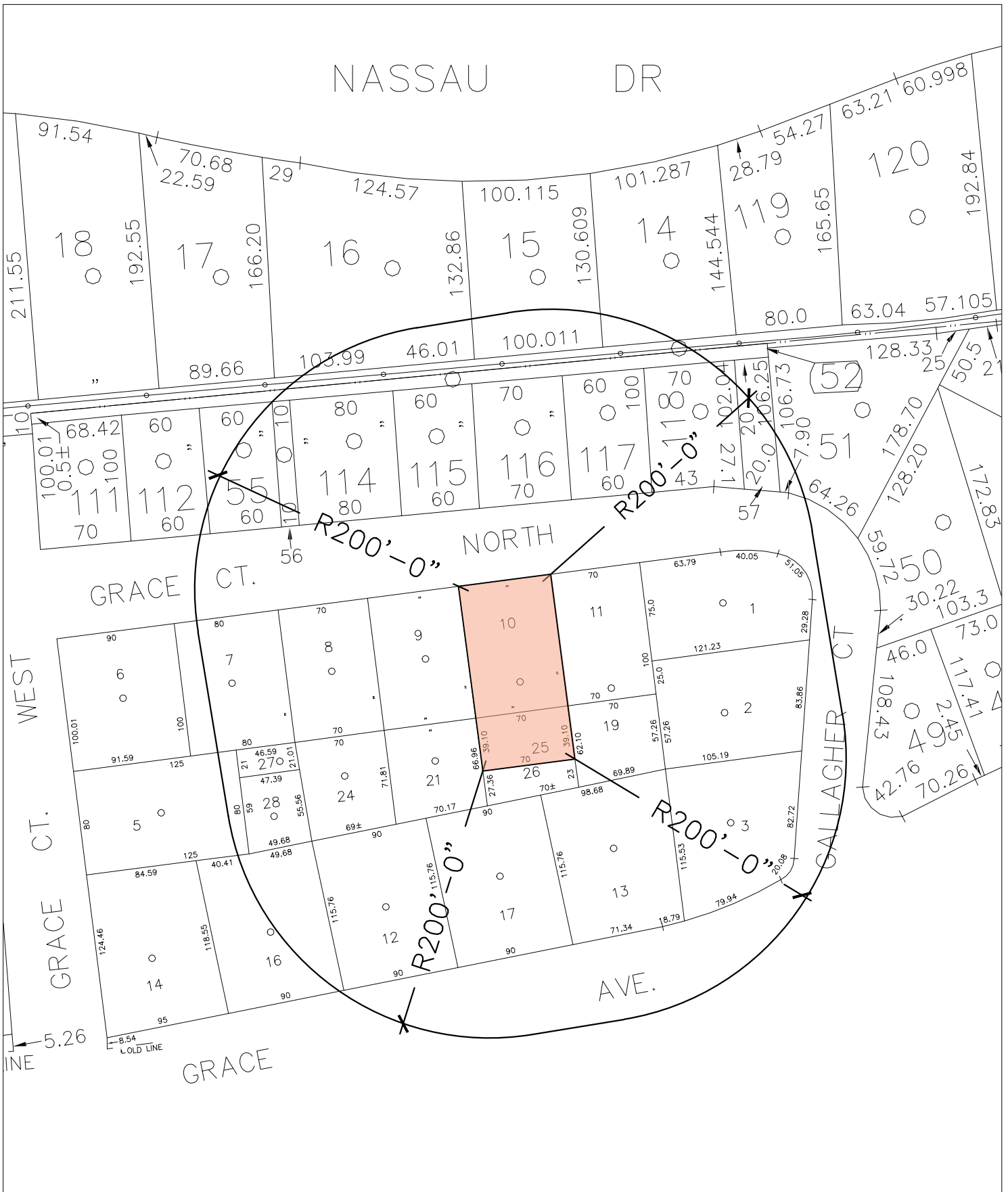


SOUTHERN COUNTIES MAPPING, LLC
46 CEDAR ROAD, WESTBURY
NEW YORK, 11590
Phone (516) 333-3555
Fax (516) 333-3055

scsurveyors2020@gmail.com

SURVEY ORDERED BY:

10 GRACE COURT NORTH



10 GRACE COURT NORTH – 200 FT. RADIUS NEIGHBOR LIST

MAN-HUI KONG and LOK KWAN WONG
4 GRACE CT N
GREAT NECK, NY 11021
SBL: 2 333 7& 2 333 27

JENNIFER MAY, JADE M
and ROBERT LIU
6 GRACE CT N
GREAT NECK, NY 11021
SBL: 2 333 8

ZHULAN WANG & GANG WU
8 N GRACE CT N
GREAT NECK, NY 11021
SBL: 2 333 9& SBL: 2 333 21

NANCY SCHREIBER
12 GRACE CT N
GREAT NECK, NY 11021
SBL: 2 333 11& SBL: 2 333 19

STEPHEN and MARCIA WEISBADER
14 GRACE CT N
GREAT NECK, NY 11020
SBL: 2 333 1

IRA and MARILYN SCHNEIDER
8 GALLAGHER CT
GREAT NECK, NY 11020
SBL: 2 333 2

MANOUCHEHR COHEN
and DAVID KAHEN
2 GALLAGHER CT
GREAT NECK, NY 11021
SBL:2 333 3

HOOMAN ESMAIL-ZADEH
93 GRACE AVE
GREAT NECK, NY 11021
SBL: 2 333 13

JOHN and FARIBA TRANE
91 GRACE AVE
GREAT NECK, NY 11021
SBL: 2 333 17

STEVE and ANTONIA LAYTON
89 GRACE AVE
GREAT NECK, NY 11021
SBL:2 333 12

ERIC S. GOLDSTEIN
87 GRACE AVE
GREAT NECK, NY 11021
SBL: 2 333 16 & SBL: 2 333 28

ELEI ZVI
3 GRACE CT N
GREAT NECK, NY 11021
SBL: 2 334 55& SBL: 2 334 56

JOSEPH and RUTH DEMARCO
5 N GRACE CT
GREAT NECK, NY 11020
SBL: 2 334 114

JOSHUA M & HAILEY S BEINER
7 GRACE CT N
GREAT NECK, NY 11021
SBL: 2 334 17 & SBL: 2 334 115

CHEN-YANG WU
and SHYANG-JENG TZENG
9 N GRACE CT
GREAT NECK, NY 11021
SBL: 2 334 116

SETH and JILL MONOSON
11 GRACE CT N
GREAT NECK, NY 11020
SBL: 2 334 117

GARY and TOBY NOREN
13 GRACE CT N
GREAT NECK, NY 11021
SBL: 2 334 57 & SBL: 2 334 118

EVE-LYNN and BEVERLY HEIMBURG
8 GRACE CT W
GREAT NECK, NY 11021
SBL: 2 333 5

IANCU & ADINA PASCARU
15 GRACE CT N
GREAT NECK, NY 11023
SBL: 2 334 51

COUNTY OF NASSAU
1 STREET
MINEOLA, NY 11501
SBL: 2 334 52

KE WEN TANG & LU ZENG
1 GRACE CT N
GREAT NECK, NY 11021
SBL: 2 334 112



ANSTitle

TITLE INSURANCE & REAL ESTATE SOLUTIONS

WWW.ATLANTISNATIONALSERVICES.COM

11 MIDDLE NECK ROAD, 4TH FLOOR

GREAT NECK, NEW YORK, 11021

CONTACT INFORMATION

PHONE# 516.829.7100 FAX# 516.487.3635

LIEN SEARCH REPORT

ORDER NUMBER: ANS-31389-NY

TITLE VESTED IN: Neer Sachar (NOTE: Last deed of record **only** covers lot 10)

BY DEED FROM: Eva's Home Corp.

PROPERTY ADDRESS: 10 Grace Court North, Great Neck, NY 11021

COUNTY: Nassau

Section: 2

Block: 333

Lot: 10 & 25

EFFECTIVE DATE: April 22, 2024

NAME RUN(S):

Neer Sachar: None Found

Eddie Sachar: Yes, See Herein

Eva Sachar: Yes, See Herein

Eva Sadon: Yes, See Herein

Eva's Home Corp: None Found

MORTGAGES OF RECORD: Yes, See Herein (2)

VIOLATIONS: Yes, See Herein



MUNICIPAL DATA SERVICES

25 Hyatt Street – Suite 301
Staten Island, NY 10301
Phone – (718) 815-0707
Fax – (718) 815-9101
www.munidata.com

Set forth below are the unpaid taxes, water rates, assessments which are properly filed and indexed liens as of the date of this search.

County: NASSAU **Title Number:** ANS ANS-31389-NY
Swis Code: 282253
Town/City: TOWN OF NORTH HEMPSTEAD **Area:** VILLAGE OF THOMASTON
Address: 10 GRACE COURT NORTH
Owner: GRACE COURT BH LLC
Tax Class: 21001 ONE FAMILY YEAR-ROUND RESIDENCE

School Dist: 07-GREAT NECK
District: **Acreage:** .2234 **District:**
Section: 2 **Item#:** **Section:** 2 **Village/City**
Block: 333 **Land AV:** **Block:** 333 **Land AV:** 821
Lot: 10,25 **Total AV:** 1,364 **Lot:** 10,25 **Total AV:** 5,355
Exemptions: NON EXEMPT **Exemptions:** NON EXEMPT

NOTE: SCHOOL AND TOWN TAXES SUBJECT TO YEARLY INCREASE DUE TO NASSAU COUNTY REASSESSMENT TO BE PHASED IN OVER FIVE YEARS

2023/2024 SCHOOL TAX

TOTAL: \$17,322.12 **YEAR:** 7/1-6-30
1ST HALF: \$8,661.06 PAID 11/8/2023 **DUE:** 10/1
2ND HALF: \$8,661.06 OPEN **DUE:** 4/1

2024 TOWN TAX

TOTAL: \$7,023.82 **YEAR:** 1/1-12/31
1ST HALF: \$3,511.91 PAID 2/6/2024 **DUE:** 1/1
2ND HALF: \$3,511.91 OPEN **DUE:** 7/1

DIRECT ASSESSMENT INCLUDED:\$1,149.12
SEWER

2024/2025 VILLAGE TAX

TOTAL: \$1,792.91 PAID 3/22/2024 **YEAR:** 3/1-2/28
DUE: 3/1

DIRECT ASSESSMENT INCLUDED:\$925.18
FIRE TAX

ARREARS: -NONE FOUND-

Our policy does not insure against such items which have not become a lien up to the date of policy or installments due after the date of the policy. Neither our tax search nor our policy covers any part of streets on which the premises to be insured abut. Recent payments of any open items returned on this tax search may not be reflected on the public records. Therefore, please request the seller or borrower to have receipts for bills available at the closing.

MUNICIPAL DATA SERVICES, INC.

3947039

15622603



MUNICIPAL DATA SERVICES

25 Hyatt Street – Suite 301
Staten Island, NY 10301
Phone – (718) 815-0707
Fax – (718) 815-9101
www.munidata.com

WATER: PRIVATE COMPANY

POSTING DATE:05/07/2024
SUBJECT TO CONTINUATION

TAX SEARCH DOES NOT GUARANTEE AGAINST EXISTENCE OF SIDEWALK/CURB ASSESSMENTS WHICH ARE NOT REFLECTED IN THE REAL ESTATE TAX RECORDS AS OF SAID POSTING DATE.

Our policy does not insure against such items which have not become a lien up to the date of policy or installments due after the date of the policy. Neither our tax search nor our policy covers any part of streets on which the premises to be insured abut. Recent payments of any open items returned on this tax search may not be reflected on the public records. Therefore, please request the seller or borrower to have receipts for bills available at the closing.

MUNICIPAL DATA SERVICES, INC.

3947039

15622603



MUNICIPAL DATA SERVICES

25 Hyatt Street – Suite 301
Staten Island, NY 10301
Phone – (718) 815-0707
Fax – (718) 815-9101
www.munidata.com

Continued

Set forth below are the unpaid taxes, water rates, assessments which are properly filed and indexed liens as of the date of this search.

County: NASSAU

Title Number: ANS ANS-31389-NY

PAYMENT INFORMATION

SCHOOL TAX COLLECTOR
TOWN OF NORTH HEMPSTEAD
RECEIVER OF TAXES
200 PLANDOME ROAD
MANHASSET, NY 11030
TELEPHONE: 516-869-7630

TOWN TAX COLLECTOR
TOWN OF NORTH HEMPSTEAD
RECEIVER OF TAXES
200 PLANDOME ROAD
MANHASSET, NY 11030
TELEPHONE: 516-869-7630

VILLAGE TAX COLLECTOR
VILLAGE OF THOMASTON
RECEIVER OF TAXES
100 EAST SHORE ROAD
GREAT NECK, NY 11023
TELEPHONE: 516-482-3110

NASSAU COUNTY TREASURER
1 WEST STREET, 1ST FLOOR
MINEOLA, NY 11501
CONTACT 516-571-2090
FOR ASSISTANCE

Our policy does not insure against such item which have not become a lien up to the date of policy or installments due after the date of the policy. Neither our tax search nor our policy covers any part of streets on which the premises to be insure abut. Recent payments of any open items returned on this tax search may not be reflected on the public records. Therefore, please request the seller or borrower to have receipts for bills available at the closing.

MUNICIPAL DATA SERVICES, INC.

3947039

15622603



ANSTitle

Title Insurance & Real Estate Solutions

8 Bond Street, Suite 100, Great Neck NY 11021

www.anstitle.com | P: 516.829.7100 | F: 516.487.3635

324

R/I

2/333/10, 25

JUL 1

TITLE CONTINUATION REQUEST

Date: May 7, 2024

RE: ANS-31389-NY (B)

Premises: 10 Grace Court North

City/State: Great Neck, NY

County: Nassau

Section/Block/Lot: 2, 333, 10 & 25

Property Owner: Eva Sachar and Eva's Home Corp.

Purchaser: Eddie Sachar

Hello,

Please provide the below listed service for the above referenced file.

Service Required:

Please complete a **Continuation** on the above-mentioned property.

(*) REISSUE OF PRIOR EXAM (ANS-31389-NY(A))

Thank you,
Christine Hahn

Due to inconsistencies found in the land records computer index at the Office of the Nassau County Clerk as well as inconsistencies found within the computer index at the Nassau County Surrogates Court please be advised that R&J Abstracts, Inc. provides this search "as-is" without warranty of any kind, either expressed or implied.

R&J Abstracts, Inc. will assume no liability for any errors, omissions, or untimely entries.

TITLE # ANS-31389-NY(B) EFFECTIVE DATE 4/15/24 RI OF ANS 31389-NY

PUE: 10 Grace Court North, Great Neck

SECTION 2 BLOCK 333 LOT(S) 10, 25

- CERTIFICATION -

CERTIFICATION: Neer Sachar

RECORDED: 2-14-23 L 14350 PG 450

EARLY TITLE GOOD IN: Eva's Home Corp

RECORDED: 9-23-22 L 14301 PG 703

SUBJECT TO: 2 Mortgages

46955 mp 374

Alm 46955 mp 415

Alm 47048 mp 881

CYR's 3269 cp 109 (see prior)

Alm 47048 mp 884

Alm 47048 mp 888

47048 mp 891

Ag 47048 mp 913

Last deed of record only describes lot 10, see deed XL 14301 cp 703 for complete metes & bound.

Reissue of ANS 31389-NY cert date 2-22-22.
mortgage in prior has been satisfied, copy herein.
* ran record owner at surrogates, nothing found.

NAMES RUN	FROM/TO	JUDGMENTS	FED TAX LIENS	UCC'S (PUE ONLY)
Neer Sachar	11 yrs to 4/15/24	0	0	0
Eddie "		4	0	-
Eva Sadon Sachar		0	0	-
Est " " "		0	0	-
Grace Court BH LLC		0	0	-
Eva's Home Corp		0	0	-

TITLE # ANS-31389 EFFECTIVE DATE 2-22-22 RI OF _____

PUE: 10 Grace Court North, Great Neck

PRIOR

SECTION 2 BLOCK 333 LOT(S) 10 & 25
- CERTIFICATION -

CERTIFICATION: Eva Sachar & Eva's Home Corp. (subject to rev. of Referee appointed in action # 13/013052)
RECORDED: 8-6-19 L 13834 PG 23

EARLY TITLE GOOD IN: Joel Carlson
RECORDED: 8-2-73 L 8571 PG 484

SUBJECT TO: Mtg: 1) 29727 mp. 580; asst 36692 mp. 265
C&P's 32494.109
no case

LP to be cancelled; action dismissed; Referee to be relieved; Judgment vacated
(Index # 13/013052)

NAMES RUN	FROM/TO	JUDGMENTS	FED TAX LIENS	UCC'S (FEE ONLY)
<u>Eddie Sachar</u>	<u>date</u>	<u>①</u>	_____	_____
<u>Eva S. Sachar</u>	<u>"</u>	<u>①</u>	_____	_____
<u>Eva Sadon</u>	<u>"</u>	<u>①</u>	_____	_____
<u>Eva's Home Corp.</u>	<u>"</u>	_____	_____	_____

**** Electronically Filed Document ****

Instrument Number: 2023-9984

Recorded As: EX-D01 - RESIDENTIAL

Recorded On: February 14, 2023

Recorded At: 11:34:26 am

Receipt Number: 2802954

Number of Pages: 4

Processed By: 001 AH

Book-VI/Pg: Bk-D VI-14350 Pg-454

Total Rec Fee(s): \$500.00

** Examined and Charged as Follows **

01 - RESIDENTIAL DEED	\$ 60.00	EX-Blocks - Deeds - \$300	\$ 300.00	EX-ON - DEED NOTIFICATION	\$ 10.00
EX-RP5217 Residential Fee	\$ 125.00	EX-TP-984 Affidavit Fee	\$ 5.00		

	Tax Amount	Consid Amt	RS#/CS#		
Tax-Transfer N. HEMPSTEAD	\$ 0	\$ 0	RE 13961	Basic	\$ 0.00
				Local NY CITY	\$ 0.00
				Additional MTA	\$ 0.00
				Spec ASST	\$ 0.00
				Spec ADDL SONYMA	\$ 0.00
				Transfer	\$ 0.00

Tax Charge: \$ 0

Property Information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT*****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

Section - 2
Block - 335
Lot - 10, 25

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 14th day of December, in the year 2022

BETWEEN Grace Court BH LLC, with a mailing address of 34 Cedar Drive, Great Neck, New York 11021,

party of the first part, and Neer Sachar, with a mailing address of 10 Grace Court North, Great Neck, New York 11021,
party of the second part,

WITNESSETH, that the party of the first part, in consideration of

\$10.00 and other good and valuable consideration dollars
paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors
and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being
in the ** See attached Schedule A Description of Premises **

Said Premises known as: 10 Grace Court North, Great Neck, New York 11021

Being and intended to be the same premises as conveyed to the grantors herein by Deed dated November 10, 2022 and
recorded November 23, 2022 in Book D Liber 14323 Page 877.


TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads
abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and
rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the
party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said
premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will
receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied
first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the
improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it
read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:



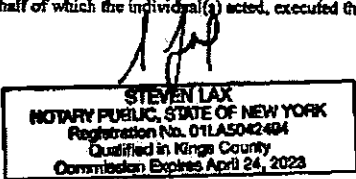
Grace Court BH LLC
By: Neer Sachar, authorized signatory

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of Kings ss:

On the 14th day of December in the year 2022, before me, the undersigned, personally appeared Neer Sachar

, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS TAKEN IN NEW YORK STATE

State of New York, County of _____, ss:

On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in

(If the place of residence is in a city, include the street and street number if any, thereof), that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of _____, ss:

On the _____ day of _____ in the year _____, before me, the undersigned, personally appeared

, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK STATE

*State of _____, County of _____, ss:

*(Or insert District of Columbia, Territory, Possession or Foreign County)

On the _____ day of _____ in the year _____, before me the undersigned personally appeared

Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the

(add the city or political subdivision and the state or country or other place the acknowledgement was taken).

**Bargain and Sale Deed
With Covenants**

Title No.

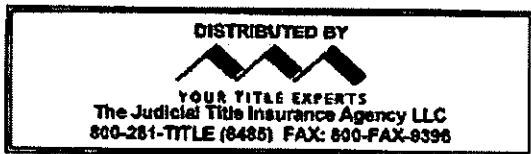
Grace Court BH LLC
TO
Neer Sachar

SECTION: 2

BLOCK: 333

LOT: 10 & 25

COUNTY OR TOWN: Nassau



RETURN BY MAIL TO:

Neer Sachar
10 Grace Court North
Great Neck, New York 11021

Fidelity National Title Insurance Company

Title No.: STNY-184488

SCHEDULE A CONTINUED

LEGAL DESCRIPTION

All that certain plot, piece or parcel of land, situate, lying and being in the Incorporated Village of Thomaston in Great Neck, in the Town of North Hempstead, County of Nassau, City and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point on southerly side of Grace Court North a distance of 310 feet easterly measured along the said southerly side of Grace Court North from the intersection of the said southerly side of Grace Court North with the easterly side of Grace Court West; and

RUNNING THENCE southerly at right angles to the southerly side of Grace Court North a distance of 139.10 feet to a point;

THENCE easterly, parallel to the southerly side of Grace Court North a distance of 70 feet to a point;

THENCE northerly again at right angles to the southerly side of Grace Court North a distance of 139.10 feet to the southerly side of Grace Court North;

THENCE westerly along the southerly side of Grace Court North a distance of 70 feet to the point or place of **BEGINNING**.

NOTE: Being Section 2, Block(s) 333, Lot(s) 10 and 25, Tax Map of the Town of Hempstead, County of Nassau, ^{North}

NOTE: Lot and Block shown for informational purposes only.

Issued by:
Saxony Title Services
3512 Quentin Road, Suite LL106, Brooklyn, NY 11234
Telephone: 718-692-1800 Fax: 718-692-1808

****** Electronically Filed Document ******

Instrument Number: 2022-112588

Recorded As: EX-D01 - RESIDENTIAL

Recorded On: November 23, 2022

Recorded At: 10:28:18 am

Receipt Number: 2747222

Number of Pages: 4

Processed By: 001 MAC

Book-VI/Pg: Bk-D VI-14323 Pg-877

Total Rec Fee(s): \$17,300.00

**** Examined and Charged as Follows ****

01 - RESIDENTIAL DEED	\$ 60.00	EX-Blocks - Deeds - \$300	\$ 300.00	EX-ON - DEED NOTIFICATION	\$ 10.00
EX-RP5217 Residential Fee	\$ 125.00	EX-TP-564 Affidavit Fee	\$ 5.00		

Tax-Transfer N. HEMPSTEAD	Tax Amount \$ 16800.00	Consid Amt \$ 1200000.00	RSM/CB# RE 8962	Basic	\$ 0.00
				Local NY CITY	\$ 0.00
				Additional MTA	\$ 0.00
				Spec ASST	\$ 0.00
				Spec ADDL GONYMA	\$ 0.00
				Transfer	\$ 16800.00

Tax Charge: \$ 16800.00

Property information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT*****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

— Bargain and Sale Deed, with Covenant against Grantor's Acts — Individual or Corporation (Single Sheet)

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

ES

THIS INDENTURE, made the ^{10th} day of ~~September~~ ^{November}, in the year 2022

BETWEEN

EVA'S HOME CORP., HAVING A PRINCIPAL ADDRESS AT 10 GRACE COURT, GREAT NECK NY
party of the first part, and

GRACE COURT BH LLC, HAVING A PRINCIPAL ADDRESS AT 34 CEDAR DRIVE, GREAT NECK, NY 11021
party of the second part.

WITNESSETH, that the party of the first part, in consideration of \$10.00 (Ten) dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

See Attached Schedule "A" attached hereto and made a part of.

FOR INFORMATION ONLY:

Said Premises also known as: 10 GRACE COURT, GREAT NECK NY Section: 2 Block: 333 Lots: 10, 25

BEING AND INTENDED TO BE THE SAME PREMISES AS CONVEYED TO THE GRANTOR BY DEED DATED 09/22/2022, RECORDED 09/23/2022 IN BOOK Bk-D VOLUM VI-14301 PAGE 703 IN THE OFFICE OF THE NASSAU COUNTY CLERK'S OFFICER.

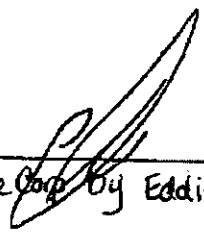
TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:


Eva's Home Corp. by Eddie Sadar
President.

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of NASSAU ss:
On the 10 day of November, in the year 2022, before me, the undersigned,

Eddie Sachar

personally appeared, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



NOTARY PUBLIC

IRENE A. VAVOULES
Notary Public, State of New York
Registration No. 01VA5182908
Qualified in Suffolk County
Commission expires December 1, 2025

ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS TAKEN IN NEW YORK STATE

State of New York, County of _____, ss:
On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____ the

subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in

(if the place of residence is in a city, include the street and street number if any, thereof); that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto

Bargain and Sale Deed

Title No.:
FROM
EVA'S HOME CORP.
TO
GRACE COURT BH LLC

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of _____ ss:
On the _____ day of _____, in the year 2022, before me, the undersigned,

personally appeared, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

NOTARY PUBLIC

ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK STATE

*State of _____, County of _____, ss:
*(Or insert District of Columbia, Territory, Possession or Foreign County)

On the _____ day of _____ in the year 2022, before me the undersigned personally appeared

Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the

(add the city or political subdivision and the state or country or other place the acknowledgement was taken).

NOTARY PUBLIC

DIST:
SEC: 2
BLOCK: 333
LOT: 10 & 25

RETURN BY MAIL TO:

Grace Court BH, LLC.
34 Cedar Drive
Great Neck, N.Y. 11021

Fidelity National Title Insurance Company

SCHEDULE A
(Continued)

Title No.: STNY-182976

Policy No.: 2730732-228021080

LEGAL DESCRIPTION

All that certain plot, piece or parcel of land, situate, lying and being in the Incorporated Village of Thomaston in Great Neck, in the Town of Hempstead, County of Nassau, City and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point on southerly side of Grace Court North a distance of 310 feet easterly measured along the said southerly side of Grace Court North from the intersection of the said southerly side of Grace Court North with the easterly side of Grace Court West; and

RUNNING THENCE southerly at right angles to the southerly side of Grace Court North a distance of 139.10 feet to a point;

THENCE easterly, parallel to the southerly side of Grace Court North a distance of 70 feet to a point;

THENCE northerly again at right angles to the southerly side of Grace Court North a distance of 139.10 feet to the southerly side of Grace Court North;

THENCE westerly along the southerly side of Grace Court North a distance of 70 feet to the point or place of **BEGINNING**.

NOTE: Being Section 2, Block(s) 333, Lot(s) 10, 25, Tax Map of the Town of Hempstead, County of Nassau.

NOTE: Lot and Block shown for informational purposes only.

Nassau County
Maureen O'Connell
County Clerk
Mineola, NY 11501



60 2022 00096676

Instrument Number: 2022- 00096676

As

D01 - DEED RESIDENTIAL

Recorded On: September 23, 2022

Parties: EDDIE SACHAR EXR

TO EVAS HOME CORP

Recorded By: EDDIE SACHAR

Billable Pages: 3

Num Of Pages: 4

Comment:

**** Examined and Charged as Follows: ****

D01 - DEED RESIDENTIAL	60.00	Blocks - Deeds - 5300	300.00	DN - DEED NOTIFICATION	10.00
RP5217 Residential	125.00	Tax Affidavit TP 584	5.00		
Recording Charge:	500.00				
	Amount	Consideration Amount	RS#ICS#		
Tax-Transfer	0.00	0.00	RE 4610	Basic	0.00 Spec ASST 0.00
N. HEMPSTEAD				Local NY CITY	0.00 Spec ADDL SONYMA 0.00
				Additional MTA	0.00 Transfer 0.00
Tax Charge:	0.00				

Property Description:

Line	Section	Block	Lot	Unit	Town Name
1	2	333	10		N. HEMPSTEAD
2	2	333	25		N. HEMPSTEAD

**** THIS PAGE IS PART OF THE INSTRUMENT ****

I hereby certify that the within and foregoing was recorded in the Clerk's Office For: Nassau County, NY

File Information:

Document Number: 2022- 00096676
Receipt Number: 2704070
Recorded Date/Time: September 23, 2022 11:10:42A
Book-Vol/Pg: Bk-D VI-14301 Pg-703
Cashier / Station: 0 DAC / NCCL-CCR1FP2

Record and Return To:

EDDIE SACHAR
10 GRACE COURT
GREAT NECK NY 11021



Maureen O'Connell

County Clerk Maureen O'Connell

3

Executor's Deed-Individual or Corporation

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT - THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY

THIS INDENTURE, made the 22 day of September, 2022 ✓

BETWEEN

EDDIE SACHAR, AS EXECUTOR OF THE ESTATE OF EVA SADON SACHAR, under letter executor issued in the County of Nassau, under docket No 2020-3023 on 2/23/2021 and pursuant to the last will of EVA SADON SACHAR, residing at 10 GRACE COURT, GREAT NECK, NY 11021, party of the first part, and

EVA'S HOME CORP., residing at 10 GRACE COURT, GREAT NECK NY 11021, party of the second part,

WITNESSETH, that whereas letters testamentary were issued to the party of the first part by the Surrogate's Court, NASSAU County, New York, on and by virtue of the power and authority given in and by said last will and testament, and/or by Article 11 of the Estates, Powers and Trusts Law, and in consideration of TEN (\$10.00) Dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the distributees or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the...

See Attached Schedule "A" attached hereto and made a part of

BEING AND INTENDED TO BE THE SAME PREMISES AS CONVEYED TO THE GRANTOR BY DEED DATED 08/06/2019, RECORDED 08/06/2019 IN BOOK D, VOL. 13834, PAGE 23 IN THE OFFICE OF THE NASSAU COUNTY CLERK'S OFFICER.

TOGETHER with all right, title and interest, if any, of the party of the first part, in and to any streets and roads abutting the above-described premises to the center lines thereof; TOGETHER with the appurtenances and also all the estate therein, which the party of the first part has or has power to convey or dispose of, whether individually, or by virtue of said will or otherwise; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the distributees or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been incumbered in any way whatever, except as aforesaid.

Subject to the trust fund provisions of section thirteen of the Lien Law.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF

Grantor(s): 

9
333
10+25

SCHEDULE A

All that certain plot, piece or parcel of land with the buildings and improvements thereon erected, situate, lying and being in the Incorporated Village of Thomaston, in Great Neck, in the Town of North Hempstead, County of Nassau and State of New York, being more particularly bounded and described as follows:

PARCEL A

BEGINNING at a point on the southerly side of Grace Court North a distance of 310 feet easterly measured along the said southerly side of Grace Court North from the intersection of the said southerly side of Grace Court North with the easterly side of Grace Court West;

RUNNING THENCE southerly on an interior angle of 90 degrees 100 feet to a point;

THENCE easterly on an interior angle of 90 degrees 70 feet to a point;

THENCE northerly on an interior angle of 90 degrees 100 feet to the southerly side of Grace Court North;

THENCE westerly along the southerly side of Grace Court North 70 feet to the point or place of **BEGINNING**.

PARCEL B

BEGINNING at a point on the northwesterly corner of the parcel herein described which point is located 100 feet southerly from the southerly line of Grace Court North when measured at right angles to the southerly line of Grace Court North from a point which is distant 310 feet easterly from the easterly line of Grace Court West when measured along the southerly line of Grace Court North and from said point of beginning running easterly and parallel with the southerly line of Grace Court North 70 feet;

THENCE southerly at right angles to the preceding course a distance of 39.10 feet;

THENCE westerly and parallel with the southerly line of Grace Court North 70 feet;

THENCE northerly at right angles to the preceding course 39.10 feet to the point or place of **BEGINNING**.

Acknowledgment Taken Within New York State (RPL 309(a))

State of New York :
County of Queens : ss.:

On the 22 day of September in the year 2022 before me, the undersigned, personally appeared **Eddie Sachar**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Ronen Shiloni
Notary Public

RONEN SHILONI
Notary Public - State Of New York
No. 02346415154
Qualified in Nassau County
Commission Expires 03/08/2025

Acknowledgment Taken Outside New York State (RPL 309(b))

State, District of Columbia, :
Territory, Possession, or : ss. :
Foreign Country :

On the _____ day of _____ in the year _____ before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Notary Public

EXECUTOR'S DEED

Title # _____

ADDRESS:

Grantor: EDDIE SACHAR, AS EXECUTOR OF THE ESTATE OF EVA SADON SACHAR, UNDER LETTER EXECUTOR ISSUED IN THE COUNTY OF NASSAU UNDER DOCKET NO 2020-3023 ON 2/23/2021 AND PURSUANT TO THE LAST WILL OF EVA SADON SACHAR

**SECTION: 2
BLOCK: 333
LOT: 10 & 25
COUNTY: Nassau**

**TO
Grantee:
EVA'S HOME CORP.**

**Record and Return to:
✓ Eddie Sachar
10 GRACE COURT, GREAT NECK, NY
11021**

Mortgage Schedule

R&J ABSTRACTS, INC.

(516) 746-1173

MTGE / ASST / CONSOL AGMT / EXT-MOD AGMT / OTHER Security Agmt

MTGOR / ASSIGNOR / BETWEEN: Grace Court BH LLC

MTGEE / ASSIGNEE / AND: Bayport Funding LLC

DATE 11-10-22 REC'D 11-23-22 L 46955 MP 374 AMOUNT \$ 960,000 MTG TAX \$ 10050

ASSIGNS / CONSOLIDATES / MODIFIES-EXTENDS

recorded vs both, only describes lot 10

TITLE Co. / #

MTGE / ASST / CONSOL AGMT / EXT-MOD AGMT / OTHER Asst of Leases & Rents

MTGOR / ASSIGNOR / BETWEEN: Grace Court BH LLC

MTGEE / ASSIGNEE / AND: Bayport Funding LLC

DATE 11-10-22 REC'D 11-23-22 L 46955 MP 415 AMOUNT \$ MTG TAX \$

ASSIGNS / CONSOLIDATES / MODIFIES-EXTENDS

refers to a \$ 960,000 note recorded vs both, only describes lot 10

TITLE Co. / #

MTGE / ASST / CONSOL AGMT / EXT-MOD AGMT / OTHER

MTGOR / ASSIGNOR / BETWEEN: Bayport Funding LLC

MTGEE / ASSIGNEE / AND: Webster Business Credit

DATE 11-16-22 REC'D 2-14-23 L 47048 MP 881 AMOUNT \$ MTG TAX \$

ASSIGNS / CONSOLIDATES / MODIFIES-EXTENDS 46955 mp 374

TITLE Co. / #

STNY-184480

MTGE / ASST / CONSOL AGMT / EXT-MOD AGMT / OTHER Collateral Asst of mtey.

MTGOR / ASSIGNOR / BETWEEN: Webster Business Credit

MTGEE / ASSIGNEE / AND: Bayport Funding LLC

DATE 12-13-22 REC'D 2-14-23 L 47048 MP 884 AMOUNT \$ MTG TAX \$

ASSIGNS / CONSOLIDATES / MODIFIES-EXTENDS 46955 mp 374

TITLE Co. / #

**** Electronically Filed Document ****

Instrument Number: 2022-112588

Recorded As: EX-M01 - MORTGAGE

Recorded On: November 23, 2022

Recorded At: 10:29:51 am

Receipt Number: 2747222

Number of Pages: 41

Processed By: 001 MAC

Book-VII/Pg: Bk-M VI-46955 Pg-374

Total Rec Fee(s): \$10,595.00

** Examined and Charged as Follows **

01 - MORTGAGE \$ 245.00 EX-Blocks - Mortgages - \$300 \$ 300.00

	Tax Amount	Consid Amt	RGN/CB#		
Tax-Mortgage	\$ 10050.00	\$ 960000.00	DN 25850	Basic	\$ 4800.00
N. HEMPSTEAD				Local NY CITY	\$ 0.00
				Additional MTA	\$ 2850.00
				Spec ASST	\$ 2400.00
				Spec ADDL SONYMA	\$ 0.00
				Transfer	\$ 0.00

Tax Charge: \$ 10050.00

Property information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

MORTGAGE AND SECURITY AGREEMENT

MORTGAGE AND SECURITY AGREEMENT (this "Mortgage") made effective as of the 10th day of November 2022.

BETWEEN

GRACE COURT BH LLC, a New York limited liability company having an address for purposes of notices and legal process at 34 Cedar Drive, Great Neck, New York 11021 (the "Mortgagor"),

as Mortgagor,

and

BAYPORT FUNDING LLC, a New York limited liability company having an address at 98 Cuttermill Road, Suite 424N, Great Neck, New York 11021 (the "Mortgagee"),

as Mortgagee,

WITNESSETH, that to secure the (a) payment of that certain Indebtedness (as hereinafter defined), in the original principal amount of Nine Hundred Sixty Thousand and 00/100 Dollars (\$960,000.00) the "Loan Amount", lawful money of the United States, as evidenced by that certain Promissory Note of even date herewith made by Mortgagor, as Borrower for the benefit of Mortgagee, as Lender (the "Note"), together with all interest payable under the Note, (b) the payment of all amounts, sums and expenses due under the Note, this Mortgage and any other Loan Document (as hereinafter defined) and (c) the payment and performance of such other obligations as are set forth in this Mortgage, and intending to be legally bound hereby, Mortgagor does hereby irrevocably mortgage, grant, bargain, sell, pledge, assign, warrant, transfer and convey to Mortgagee, and grants a security interest to Mortgagee in, the following property, rights, interests and estates now owned or hereafter acquired by Mortgagor (collectively, the "Premises"):

ALL those certain plots, pieces or parcels of land located in the County of Nassau and State of New York commonly known by the address 10 Grace Court North, Great Neck, New York 11021, as more particularly described in SCHEDULE A annexed hereto and hereby made a part hereof (the "Land");

TOGETHER with all additional lands, estates and development rights hereafter acquired by Mortgagor for use in connection with the Land and the development of the Land and all additional lands and estates therein which may, from time to time, by supplemental mortgage or otherwise be expressly made subject to the lien of this Mortgage;

TOGETHER with all buildings, structures and improvements of every kind and nature whatsoever now or hereafter located, erected, or placed upon the Land, and all extensions, additions, improvements, betterments, renewals, substitutions and replacements of or to any of the foregoing (collectively, the "Improvements");

EXHIBIT "A"
LEGAL DESCRIPTION

All that certain plot, piece or parcel of land, situate, lying and being in the Incorporated Village of Thomaston in Great Neck, in the Town of Hempstead, County of Nassau, City and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point on southerly side of Grace Court North a distance of 310 feet easterly measured along the said southerly side of Grace Court North from the intersection of the said southerly side of Grace Court North with the easterly side of Grace Court West; and

RUNNING THENCE southerly at right angles to the southerly side of Grace Court North a distance of 139.10 feet to a point;

THENCE easterly, parallel to the southerly side of Grace Court North a distance of 70 feet to a point;

THENCE northerly again at right angles to the southerly side of Grace Court North a distance of 139.10 feet to the southerly side of Grace Court North;

THENCE westerly along the southerly side of Grace Court North a distance of 70 feet to the point or place of **BEGINNING**.

NOTE: Being Section 2, Block(s) 333, Lot(s) 10 and 25, Tax Map of the Town of Hempstead, County of Nassau.

NOTE: Lot and Block shown for informational purposes only.

The within described premises are or are to be improved by a one or two family residence or dwelling only.

****** Electronically Filed Document ******

Instrument Number: 2022-112590

Recorded As: EX-M08 - MORTGAGE AG

Recorded On: November 23, 2022

Recorded At: 10:30:28 am

Receipt Number: 2747222

Number of Pages: 12

Processed By: 001 MAC

Book-VI/Pg: Bk-M VI-46955 Pg-415

Total Rec Fee(s): \$405.00

**** Examined and Charged as Follows ****

08 - MORTGAGE AGREEMENT	\$ 100.00	EX-AFT - AFFIDAVIT	\$ 5.00	EX-Blocks - Mortgages - \$300	\$ 300.00
-------------------------	-----------	--------------------	---------	-------------------------------	-----------

	Tax Amount	Consid Amt	RS#ICB#		
Tax-Mortgage N. HEMPSTEAD	\$ 0	\$ 0	0N 25851	Basic	\$ 0.00
				Local NY CITY	\$ 0.00
				Additional MTA	\$ 0.00
				Spec ABST	\$ 0.00
				Spec ADDL SONYMA	\$ 0.00
				Transfer	\$ 0.00

Tax Charge: \$ 0

Property Information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT*****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

ASSIGNMENT OF LEASES AND RENTS

THIS ASSIGNMENT OF LEASES AND RENTS is made effective as of the 10th day of November, 2022 (this "Assignment"), by GRACE COURT BH LLC, a New York limited liability company having an address for purposes of notices and legal process at 34 Cedar Drive, Great Neck, New York 11021 (the "Assignor") to BAYPORT FUNDING LLC, a New York limited liability company having an address at 98 Cuttermill Road, Suite 424N, Great Neck, New York 11021 (its successors and/or assigns, as their interests may appear, the "Assignee").

WITNESSETH:

WHEREAS, Assignor has become indebted to Assignee pursuant to that certain Promissory Note of even date herewith given by Assignor to Assignee in the principal sum of Nine Hundred Sixty Thousand and 00/100 Dollars (\$960,000.00) (the "Note"); and

WHEREAS, the Note is secured by, among other things, (a) that certain Mortgage and Security Agreement (the "Mortgage"), of even date herewith, granted by Assignor to Assignee, encumbering the premises situated in Nassau County and the State of New York commonly known by the address of 10 Grace Court North, Great Neck, New York 11021, as more particularly described in Exhibit "A" annexed hereto and made a part hereof (the "Premises"), and (b) certain other instruments and agreements dated as of even date herewith or executed pursuant to this transaction from time to time by Assignor, principal, surety, guarantor, member, endorser or any other parties to Assignee in connection with the loan evidenced by the Note (collectively said documents and agreements and all other documents and agreements evidencing the loan, may be referred to as the "Loan Documents"), and

WHEREAS, Assignor desires to further secure the Note and the indebtedness now due and to become due to the Assignee.

NOW THEREFORE, Assignor, intending to be legally bound, and for and in consideration of these presents and the mutual agreements herein contained and for other good and valuable consideration, the receipt and legal sufficiency of which are hereby acknowledged by Assignor, does hereby agree as follows:

1. As additional security for repayment of the Note and performance of the obligations of Assignor set forth in the Note, the Mortgage and the Loan Documents (the payment of the Note and such other obligations, collectively the "Obligations"), Assignor does hereby grant a security interest in, and transfers, sets over and assigns to Assignee, Assignor's entire right, title and interest as landlord, in and to any and all leases and subleases affective the Premises (collectively, the "Leases") and all extensions, renewals and replacements of any Leases and any and all guarantees of any lessee's obligations under any of the Leases, and all rents, additional rents, increases in rents, security deposits, advance rents, income, proceeds, earnings, revenues, issues, profits, royalties, revenues, rights, deposits and benefits or other payments (collectively, the "Rents") now due, or to become due, under or by virtue of any Lease, or any letting of, or of any agreement for the use or occupancy of, the Premises or any part thereof, which may have been heretofore or may be hereafter

IN WITNESS WHEREOF, the undersigned has executed the foregoing Assignment of Leases and Rents as of the date first above written.

ASSIGNOR:

GRACE COURT BH LLC,
a New York limited liability company

By: _____
Name: AVRAHAM SHARABANI
Title: Sole Member

STATE OF NEW YORK)
) ss.:
COUNTY OF NASSAU)

On the 10th day of November, in the year 2022, before me, the undersigned, a Notary Public in and for said State, personally appeared AVRAHAM SHARABANI, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same in his/her capacity, and that by his/her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Notary Public

NICHOLAS NEOCLEOUS
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02NE6995366
Qualified in Queens County
My Commission Expires: 7/29/2023

EXHIBIT "A"
PROPERTY DESCRIPTION

All that certain plot, piece or parcel of land, situate, lying and being in the Incorporated Village of Thomaston in Great Neck, in the Town of Hempstead, County of Nassau, City and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point on southerly side of Grace Court North a distance of 310 feet easterly measured along the said southerly side of Grace Court North from the intersection of the said southerly side of Grace Court North with the easterly side of Grace Court West; and

RUNNING THENCE southerly at right angles to the southerly side of Grace Court North a distance of 139.10 feet to a point;

THENCE easterly, parallel to the southerly side of Grace Court North a distance of 70 feet to a point;

THENCE northerly again at right angles to the southerly side of Grace Court North a distance of 139.10 feet to the southerly side of Grace Court North;

THENCE westerly along the southerly side of Grace Court North a distance of 70 feet to the point or place of **BEGINNING**.

NOTE: Being Section 2, Block(s) 333, Lot(s) 10 and 25, Tax Map of the Town of Hempstead, County of Nassau.

NOTE: Lot and Block shown for informational purposes only.

**** Electronically Filed Document ****

Instrument Number: 2023-9985

Recorded As: EX-M23 - ASSIGN MORT

Recorded On: February 14, 2023

Recorded At: 11:37:15 am

Receipt Number: 2802954

Number of Pages: 3

Processed By: 001 AH

Book-VI/Pg: Bk-M VI-47048 Pg-881

Total Rec Fee(s): \$355.00

** Examined and Charged as Follows **

23 - ASSIGN MORTGAGE	\$ 55.00	EX-Blocks - Mortgages - \$300	\$ 300.00
----------------------	----------	-------------------------------	-----------

Property Information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT*****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

SNY-1844K6

Section: 2
Block: 333
Lot: 10,25

COLLATERAL ASSIGNMENT OF MORTGAGE

KNOW THAT BAYPORT FUNDING LLC, a New York limited liability company ("Assignor") having an address at 98 Cuttermill Road, Suite 424N, Great Neck, NY 11021, in exchange for good and valuable consideration paid by **WEBSTER BUSINESS CREDIT, As Agent**, ("Assignee"), with offices at 360 Lexington Avenue, NY 10017, hereby conditionally and collaterally assigns unto the Assignee, a certain Mortgage, Assignment of Rents, Security Agreement and Fixture Filing dated 11/10/2022 made by **GRACE COURT BH LLC** to **BAYPORT FUNDING LLC**, in the principal sum of \$960,000.00 and ~~to be~~ recorded in the office of the Clerk/Register of the County of Nassau, covering premises located at 10 Grace Court North, Great Neck, NY. on 11/23/2022

* corporation

liber. 46955 Page 374

This collateral assignment is being executed by the Assignor as collateral security for the obligations owed by Assignor to Assignee pursuant to a certain Credit and Security Agreement dated December 28, 2015, and subsequent amendments, Assignee agrees that Assignor shall remain vested in title of the Mortgage until such time, if any, that an Event of Default occurs pursuant to the Credit and Security Agreement between Assignor and Assignee.

This Assignment is not subject to the requirements of Section 275 of the Real Property Law because it is an assignment within the secondary mortgage market.

The word "Assignor" or "Assignee" shall be construed as if it read "Assignors" or "Assignees" whenever the sense of this instrument so requires.

{BALANCE OF PAGE INTENTIONALLY BLANK}

{SIGNATURE PAGE TO FOLLOW}

IN WITNESS WHEREOF, the Assignor has duly executed this Assignment the 16th day of November, 2022

BAYPORT FUNDING LLC

By: 
Nina Smalls-Toogood, Esq.
Authorized Signatory

STATE OF NEW YORK
COUNTY OF NASSAU

On the 16th day of November, 2022, before me, the undersigned, personally appeared NINA SMALLS-TOOGOOD, ESQ., Authorized Signatory of Bayport Funding LLC, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacities, and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individuals acted, executed the instrument.


Notary Public

MAX STEINBERG
NOTARY PUBLIC-STATE OF NEW YORK
No. 01ST6321846
Qualified in New York County
My Commission Expires 07-17-2022

**** Electronically Filed Document ****

Instrument Number: 2023-9988

Recorded As: EX-M23 - ASSIGN MORT

Recorded On: February 14, 2023

Recorded At: 11:38:38 am

Receipt Number: 2802954

Number of Pages: 4

Processed By: 001 AH

Book-VI/Pg: Bk-M VI-47048 Pg-884

Total Rec Fee(s): \$360.00

** Examined and Charged as Follows **

23 - ASSIGN MORTGAGE \$ 60.00 EX-Blocks - Mortgages - \$300 \$ 300.00

Property information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT*****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

SMY-184480

Section 2
Block: 333
lot: 10,25

COLLATERAL ASSIGNMENT OF MORTGAGE

KNOW THAT, Webster Business Credit Corporation, as agent ("Assignor"), with offices at 360 Lexington Avenue New York, New York 10017, in exchange for good and valuable consideration paid by BAYPORT FUNDING LLC, a New York limited liability company ("Assignee") having an address of 98 Cuttermill Road, Suite 424N, Great Neck, New York 11021, hereby conditionally and collaterally assigns unto the Assignee, the following:

SEE ATTACHED MORTGAGE SCHEDULE

This collateral assignment is being executed by the Assignor as a result of the return of a collateral security interest and for the obligations pursuant to a certain Credit and Security Agreement dated December 28, 2015 and subsequent amendments.

THIS ASSIGNMENT is not subject to the requirements of Section 275 of the Real Property Law because it is an assignment within the secondary mortgage market.

The word "Assignor" or "Assignee" shall be construed as if it read "Assignors" or "Assignees" whenever the sense of this instrument so requires.

(Balance of page intentionally left blank)

(Signature page to follow)

MORTGAGE SCHEDULE

MORTGAGE #1:

MORTGAGOR: Grace Court BH LLC
MORTGAGEE: Bayport Funding LLC
AMOUNT: \$960,000.00
DATED: 11/10/2022
RECORDED: 11/23/2022
RECORDING INFO: Liber 46955; Page 374

ASSIGNMENT:

ASSIGNOR: Bayport Funding LLC ^{corporation}
ASSIGNEE: Webster Business Credit, as agent
DATED: 11/16/2022
RECORDED: to be recorded simultaneously
RECORDING INFO:

PROPERTY ADDRESS: 10 Grace Court North, Great Neck, NY

Mortgage Schedule

R&J ABSTRACTS, INC.

(516) 746-1173

MTGE / ASST / CONSOL AGMT / EXT-MOD AGMT / OTHER _____

MTGOR / ASSIGNOR / BETWEEN: Bayport Funding LLC

MTGEE / ASSIGNEE / AND: MEMO: United Wholesale Mortgage LLC

DATE — REC'D 2.14.23 L 47048 MP 888 AMOUNT \$ _____ MTG TAX \$ _____

ASSIGNS / CONSOLIDATES / MODIFIES-EXTENDS 46955 MP 374

pages missing signature page & Acknowledgment page. Full copy provided TITLE Co. / # _____

MTGE / ASST / CONSOL AGMT / EXT-MOD AGMT / OTHER _____

MTGOR / ASSIGNOR / BETWEEN: Neer Sacher

MTGEE / ASSIGNEE / AND: MEMO: United Wholesale Mortgage LLC

DATE 12.30.22 REC'D 2.14.23 L 47048 MP 891 AMOUNT \$ 80,000 MTG TAX \$ 810

ASSIGNS / CONSOLIDATES / MODIFIES-EXTENDS _____

recorded vs. both, only describes lot 10

TITLE Co. / # STNY-184486

MTGE / ASST / CONSOL AGMT / EXT-MOD AGMT / OTHER _____

MTGOR / ASSIGNOR / BETWEEN: Neer Sacher

MTGEE / ASSIGNEE / AND: MEMO: United Wholesale Mortgage LLC

DATE 12.30.22 REC'D 2.14.23 L 47048 MP 913 AMOUNT \$ _____ MTG TAX \$ _____

ASSIGNS / CONSOLIDATES / MODIFIES-EXTENDS 46955 mp. 374 and

47048 mp 891 to form a single lien of \$1,040,000.

recorded vs both, only describes TITLE Co. / # STNY-184486 Saxony

lot 10

Title

MTGE / ASST / CONSOL AGMT / EXT-MOD AGMT / OTHER _____

MTGOR / ASSIGNOR / BETWEEN: _____

MTGEE / ASSIGNEE / AND: _____

DATE _____ REC'D _____ L _____ MP _____ AMOUNT \$ _____ MTG TAX \$ _____

ASSIGNS / CONSOLIDATES / MODIFIES-EXTENDS _____

TITLE Co. / # _____

**** Electronically Filed Document ****

Instrument Number: 2023-9987

Recorded As: EX-M23 - ASSIGN MORT

Recorded On: February 14, 2023

Recorded At: 11:39:18 am

Receipt Number: 2802854

Number of Pages: 3

Processed By: 001 AH

Book-VI/Pg: Bk-M VI-47048 Pg-888

Total Rec Fee(s): \$355.00

** Examined and Charged as Follows **

23 - ASSIGN MORTGAGE	\$ 55.00	EX-Blocks - Mortgages - \$300	\$ 300.00
----------------------	----------	-------------------------------	-----------

Property Information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

Record and Return to:
United Wholesale Mortgage, LLC
585 South Boulevard E
Pontiac, MI 48341

8724-184436

Section 2
Block 333
10-1-1025

MERS PHONE #: 888-679-6377
MERS MIM #: 10003241222544167

CORPORATE ASSIGNMENT OF MORTGAGE

KNOW ALL MEN BY THESE PRESENT:

THAT BAYPORT FUNDING LLC, with a place of business at 98 Cuttermill Road, Suite 424N, Great Neck, NY 11021, hereinafter designated as the "Assignor", for valuable consideration in an amount of not less than the outstanding principal amount, the receipt whereof is hereby acknowledged, does by these presents hereby grant, bargain, sell, assign, transfer and set over unto:

Mortgage Electronic Registration Systems, Inc. ("MERS"), as mortgagee, as nominee for United Wholesale Mortgage, LLC, 1901 E. Voorhees Street, Suite C, Danville, IL 61834

Hereinafter designated as Assignee, all of its rights, title and interest, as holder thereof, in and to the following described lien in the form of a mortgage on the property therein described and the indebtedness thereby secured.

SEE MORTGAGE SCHEDULE ATTACHED

Together with the note or obligation described in said mortgage endorsed to the Assignee this date, and all money due to and become due thereon, with interest.

This Assignment is not subject to the requirements of Section 275 of the Real Property Law because the Assignee is not acting as a nominee of the Mortgagor and the Mortgagor and the Mortgage continue to secure a bona fide obligation.

TO HAVE AND TO HOLD the same unto Assignee and to successors, legal representatives and assigns of the Assignee forever, and Assignor hereby constitutes and appoints said Assignee its attorney irrevocably to collect and receive said debt, and to foreclose, enforce, and satisfy said lien the same as it might or could have done were these presents not executed, but at the cost and expense of the Assignee, subject however to the right and equity of redemption, if any there be, of the maker(s) of the mortgage hereinabove described.

Further, Assignor confirms that it intends to convey any and all claims and causes of action it ever had or now has against any and all parties related in any manner whatsoever to the Mortgage and all related transaction, including, without limitation, appraiser professional negligence, fraud, breach of contract and negligent misrepresentation claims, whether known or unknown, at the time of this assignment.

{Signature page follows}

MORTGAGE SCHEDULE

MORTGAGE #1:

MORTGAGOR: Grace Court BH LLC
MORTGAGEE: Bayport Funding LLC
AMOUNT: \$960,000.00
DATED: 11/10/2022
RECORDED: 11/23/2022
RECORDING INFO: Liber 46955; Page 374

ASSIGNMENT:

ASSIGNOR: Bayport Funding LLC ^{corporation}
ASSIGNEE: Webster Business Credit, as agent
DATED: 11/16/2022
RECORDED: to be recorded simultaneously
:

ASSIGNMENT:

ASSIGNOR: Webster Business Credit, ^{corporation}
ASSIGNEE: Bayport Funding LLC
DATED: 12/13/2022
RECORDED: to be recorded simultaneously

PROPERTY ADDRESS: 10 Grace Court North, Great Neck, NY

**** Electronically Filed Document ****

Instrument Number: 2023-9988

Recorded As: EX-M01 - MORTGAGE

Recorded On: February 14, 2023

Recorded At: 11:39:59 am Receipt Number: 2802854

Number of Pages: 22 Processed By: 001 AH

Book-VI/Pg: Bk-M VI-47048 Pg-891

Total Rec Fee(s): \$1,260.00

** Examined and Charged as Follows **

01 - MORTGAGE \$ 150.00 EX-Blocks - Mortgages - \$300 \$ 300.00

Tax-Mortgage	Tax Amount	Consid Amt	RS# / CG#	Basic	\$ 400.00
N. HEMPSTEAD	\$ 810.00	\$ 80000.00	DN 31229	Local NY CITY	\$ 0.00
				Additional MTA	\$ 210.00
				Spec ASST	\$ 200.00
				Spec ADDL SONYMA	\$ 0.00
				Transfer	\$ 0.00

Tax Charge: \$ 810.00

Property information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT*****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

Section: 2
Block: 333
Lot: 10,25

Mortgage Recording Tax:

After Recording Return To:
UNITED WHOLESALE MORTGAGE, LLC
585 SOUTH BOULEVARD E
PONTIAC, MI 48341
ATTN: POST CLOSING MANAGER
Loan Number: 1222754416

[Space Above This Line For Recording Date]

GAP MORTGAGE

MIN: 100032412227544167

MERS Phone: 888-679-6377

WORDS USED OFTEN IN THIS DOCUMENT

Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 4, 10, 11, 12, 16, 19, 24, and 25, and in the Sections titled "Borrower's Transfer to Lender of Rights in the Property" and "Description of the Property." Certain rules regarding the usage of words used in this document are also provided in Section 17.

Parties

(A) "Borrower" is Neer Sachar

currently residing at 10 GRACE CT N, GREAT NECK, NEW YORK 11021

Borrower is the mortgagor under this Security Instrument and is sometimes called "Borrower" and sometimes simply "I" or "me," using the singular even where there is more than one Borrower.

(B) "Lender" is United Wholesale Mortgage, LLC

Lender is organized and existing under the laws of MICHIGAN
Lender's address is 585 South Boulevard E, Pontiac, Michigan 48341

The term "Lender" includes any successors and assigns of Lender.

(B-1) "MERS" is Mortgage Electronic Registration Systems, Inc. MERS is a separate corporation that is acting solely as a nominee for Lender and Lender's successors and assigns. MERS is organized and existing under the laws of Delaware, and has a mailing address of P.O. Box 2026, Flint, MI 48501-2026, and a street address of 11819 Miami Street, Suite 100, Omaha, NE 68164. The MERS telephone number is (888) 679-MERS. **FOR PURPOSES OF RECORDING THIS MORTGAGE, MERS IS THE MORTGAGEE OF RECORD.**

Section: 2 Block: 333 Lot(s)/Unit No(s): 10,25



Documents

(C) "Note" means the promissory note dated December 30, 2022, and signed by each Borrower who is legally obligated for the debt under that promissory note, that is in either (i) paper form, using Borrower's written pen and ink signature, or (ii) electronic form, using Borrower's adopted Electronic Signature in accordance with the UETA or E-SIGN, as applicable. The Note evidences the legal obligation of each Borrower who signed the Note to pay Lender EIGHTY THOUSAND AND 00/100

Dollars (U.S. \$ 80,000.00) plus interest.

Each Borrower who signed the Note has promised to pay this debt in regular monthly payments and to pay the debt in full by February 1, 2053

(D) "Riders" means all Riders to this Security Instrument that are signed by Borrower. All such Riders are incorporated into and deemed to be a part of this Security Instrument. The following Riders are to be signed by Borrower [check box as applicable]:

- Adjustable Rate Rider
- 1-4 Family Rider
- Second Home Rider
- Condominium Rider
- Planned Unit Development Rider
- Other(s) [specify]:

(E) "Security Instrument" means this document, which is dated December 30, 2022, together with all Riders to this document.

Additional Definitions

(F) "Applicable Law" means all controlling applicable federal, state, and local statutes, regulations, ordinances, and administrative rules and orders (that have the effect of law) as well as all applicable final, non-appealable judicial opinions.

(G) "Community Association Dues, Fees, and Assessments" means all dues, fees, assessments, and other charges that are imposed on Borrower or the Property by a condominium association, homeowners association, or similar organization.

(H) "Condemnation" means a taking of property by any governmental authority by eminent domain.

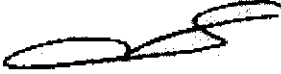
(I) "Default" means: (i) the failure to pay any Periodic Payment or any other amount secured by this Security Instrument on the date it is due; (ii) a breach of any representation, warranty, covenant, obligation, or agreement in this Security Instrument; (iii) any materially false, misleading, or inaccurate information or statement to Lender provided by Borrower or any Persons acting at Borrower's direction or with Borrower's knowledge or consent, or failure to provide Lender with material information in connection with the Loan, as described in Section 8; or (iv) any action or proceeding described in Section 12(e).

(J) "Electronic Fund Transfer" means any transfer of funds, other than a transaction originated by check, draft, or similar paper instrument, which is initiated through an electronic terminal, telephonic instrument, computer, or magnetic tape so as to order, instruct, or authorize a financial institution to debit or credit an account. Such term includes, but is not limited to, point-of-sale transfers, automated teller machine transactions, transfers initiated by telephone or other electronic device capable of communicating with such financial institution, wire transfers, and automated clearinghouse transfers.

(K) "Electronic Signature" means an "Electronic Signature" as defined in the UETA or E-SIGN, as applicable.



BY SIGNING BELOW, I accept and agree to the promises and agreements contained in this Security Instrument and in any Rider signed by me and recorded with it.



Neer Sachar

(Seal)
-Borrower



Fidelity National Title Insurance Company

Title No.: STNY-184488

SCHEDULE A CONTINUED

LEGAL DESCRIPTION

All that certain plot, piece or parcel of land, situate, lying and being in the Incorporated Village of Thomaston in Great Neck, in the Town of North Hempstead, County of Nassau, City and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point on southerly side of Grace Court North a distance of 310 feet easterly measured along the said southerly side of Grace Court North from the intersection of the said southerly side of Grace Court North with the easterly side of Grace Court West; and

RUNNING THENCE southerly at right angles to the southerly side of Grace Court North a distance of 139.10 feet to a point;

THENCE easterly, parallel to the southerly side of Grace Court North a distance of 70 feet to a point;

THENCE northerly again at right angles to the southerly side of Grace Court North a distance of 139.10 feet to the southerly side of Grace Court North;

THENCE westerly along the southerly side of Grace Court North a distance of 70 feet to the point or place of **BEGINNING**.

NOTE: Being Section 2, Block(s) 333, Lot(s) 10 and 25, Tax Map of the Town of Hempstead, County of Nassau, ^{North}

NOTE: Lot and Block shown for informational purposes only.

Issued by:

Saxony Title Services

3512 Quentin Road, Suite LL105, Brooklyn, NY 11234

Telephone: 718-692-1800 Fax: 718-692-1800

**** Electronically Filed Document ****

Instrument Number: 2023-9989

Recorded As: EX-M08 - MORTGAGE AG

Recorded On: February 14, 2023

Recorded At: 11:41:28 am

Receipt Number: 2802854

Number of Pages: 41

Processed By: 001 AH

Book-VI/Pg: Bk-M VI-47048 Pg-913

Total Rec Fee(s): \$550.00

** Examined and Charged as Follows **

08 - MORTGAGE AGREEMENT	\$ 245.00	EX-AFT - AFFIDAVIT	\$ 5.00	EX-Blocks - Mortgages - \$300	\$ 300.00
-------------------------	-----------	--------------------	---------	-------------------------------	-----------

	Tax Amount	Consid Amt	RS#(CB#)		
Tax-Mortgage N. HEMPSTEAD	\$ 0	\$ 0	ON 31230	Basic	\$ 0.00
				Local NY CITY	\$ 0.00
				Additional MTA	\$ 0.00
				Spec ASST	\$ 0.00
				Spec ADDL BONYMA	\$ 0.00
				Transfer	\$ 0.00

Tax Charge: \$ 0

Property Information:

Section	Block	Lot	Unit	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT*****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

STNY-184486

Section: 2
Block: 333
lot: 10,25

Mortgage Recording Tax:

After Recording Return To:
UNITED WHOLESALE MORTGAGE, LLC
585 SOUTH BOULEVARD E
PONTIAC, MI 48341
ATTN: POST CLOSING MANAGER
Loan Number: 1222754416

[Space Above This Line For Recording Data]

CONSOLIDATION, EXTENSION, AND MODIFICATION AGREEMENT

Lender's Loan Number: 1222754416
MIN: 100032412227544167

MERS Phone: 888-679-6377

WORDS USED OFTEN IN THIS DOCUMENT

- (A) "Agreement." This document, which is dated December 30, 2022, and exhibits and riders attached to this document will be called the "Agreement."
- (B) "Borrower." Neer Sachar

will be called "Borrower" and sometimes "I" or "me." Borrower's address is 10 GRACE CT N, GREAT NECK, NEW YORK 11021

- (C) "Lender." United Wholesale Mortgage, LLC, Limited Liability Company

will be called "Lender" and sometimes "Note Holder." Lender is a corporation or association which exists under the laws of MICHIGAN. Lender's address is 585 South Boulevard E, Pontiac, Michigan 48341

(D) "Mortgages." The mortgages, deeds of trust, or other security instruments and any additional security instruments and related agreements (such as assignments, extensions, modifications, or consolidations of mortgages) identified in Exhibit A to this Agreement will be called the "Mortgages."

(E) "MERS" is Mortgage Electronic Registration Systems, Inc. MERS is a separate corporation that is acting solely as a nominee for Lender and Lender's successors and assigns. MERS is organized and existing under the laws of Delaware, and has a mailing address of P.O. Box 2026, Flint, MI 48501-2026, and a street address of 1901 E. Voorhees Street, Suite C, Danville, IL 61834. The MERS telephone number is (888) 679-MERS. **FOR PURPOSES OF RECORDING THIS MORTGAGE, MERS IS THE MORTGAGEE OF RECORD.**

(F) "Note Holder." Lender or anyone who succeeds to Lender's rights under this Agreement and who is entitled to receive the payments I agree to make under this Agreement may be called the "Note Holder."

(G) "Notes." The Notes which are identified in Exhibit A to this Agreement, and which are secured by the Mortgages, will be called the "Notes."

Section:

2

Block:

333

Lot(s)/Unit No(s): 10+25



(H) "Property." The property which is described in the Mortgage(s) and in Exhibit B (Property Description) to this Agreement, will be called the "Property." The Property is located at:

10 GRACE CT N
(Street)

GREAT NECK
(City)

NASSAU
(County)

NEW YORK, 11021
(State and Zip Code)

I promise and I agree with Lender as follows:

I. BORROWER'S AGREEMENT ABOUT OBLIGATION UNDER THE NOTES AND MORTGAGES

I agree to take over all of the obligations under the Notes and Mortgages as consolidated and modified by this Agreement as Borrower. This means that I will keep all of the promises and agreements made in the Notes and Mortgages even if some other person made those promises and agreements before me. The total unpaid principal balance of the Notes is U.S. \$ 1,040,000.00 of this amount, U.S. \$ 80,000.00 was advanced to me (or for my account) immediately prior to this consolidation.

II. AGREEMENT TO COMBINE NOTES AND MORTGAGES

(A) By signing this Agreement, Lender and I are combining into one set of rights and obligations all of the promises and agreements stated in the Notes and Mortgages including any earlier agreements which combined, modified, or extended rights and obligations under any of the Notes and Mortgages. This means that all of Lender's rights in the Property are combined so that under the law Lender has one mortgage and I have one loan obligation which I will pay as provided in this Agreement. This combining of notes and mortgages is known as a "Consolidation."

(B) In the event that Exhibit A indicates that all of the Notes and Mortgages have already been combined by a previous agreement, then Lender and I agree to change the terms of Section II, paragraph (A) of this Agreement to the following:

Lender and I agree that all of the promises and agreements stated in the Notes and Mortgages -- including any earlier agreements which combined, modified, or extended rights and obligations under any of the Notes and Mortgages -- have been combined into one set of rights and obligations by an earlier agreement which is referred to in Exhibit A. This means that all of the Lender's rights in the Property have already been combined so that under the law Lender already has one mortgage and I have one loan obligation which I will pay as provided in this Agreement. The combining of notes and mortgages is known as a "Consolidation."

III. AGREEMENT TO CHANGE TERMS OF THE CONSOLIDATED NOTE

Lender and I agree that the terms of the Notes are changed and restated to be the terms of the "Consolidated Note" which is attached to this Agreement as Exhibit C. The Consolidated Note contains the terms of payment for the amounts that I owe to Note Holder. I agree to pay the amounts due under the Notes in accordance with the terms of the Consolidated Note. The Consolidated Note will supersede all terms, covenants, and provisions of the Notes.

IV. AGREEMENT TO CHANGE TERMS OF THE CONSOLIDATED MORTGAGE

Lender and I agree that the terms of the Mortgages are changed and restated to be the terms of the "Consolidated Mortgage" which is attached to this Agreement as Exhibit D. The Consolidated Mortgage secures the Consolidated Note and will constitute in law a single lien upon the Property. I agree to be bound by the terms set forth in the Consolidated Mortgage which will supersede all terms, covenants, and provisions of the Mortgages.



By signing this Agreement, Lender and I agree to all of the above.

Isometric LLC United Wholesale Mortgage LLC

NA



Lender


By: Giuseppe Lucio
SVP Operations

January 10th 2023
Date



Mortgage Electronic Registration Systems, Inc. -
Mortgagee

Heidi Hill, AVP Post Closing



Neer Sachar (Seal)
-Borrower



EXHIBIT A

1. Mortgage dated December 30, 2022 made by Neer Sachar to Mortgage Electronic Registration Systems, Inc. ("MERS"), as nominee for United Wholesale Mortgage, LLC in the amount of \$80,000.00 to be recorded in the Office of the Clerk of the County of Nassau, State of New York, at which time mortgage tax of \$810.0 will be duly paid. This Mortgage is on a Fannie Mae/Freddie Mac Security Instrument. This Mortgage secures a Note dated December 30, 2022.

2. Mortgage dated November 10, 2022 made by Grace Court BH LLC to Bayport Funding LLC in the amount of \$960,000.00 and recorded in the Office of the Clerk of the County of Nassau, State of New York on November 23, 2022 in Liber 46955 Page 374. Mortgage tax of \$10,050.00 was duly paid. This Mortgage secures a Note dated November 10, 2022.

Mortgage 2 was collaterally assigned from Bayport Funding LLC to Webster Business Credit Corporation by Collateral Assignment of Mortgage dated November 16, 2022 to be recorded in the Office of the Clerk of the County of Nassau, State of New York.

Mortgage 2 currently has an unpaid principal balance of \$960,000.00.

Mortgage 2 is now being collaterally assigned from Webster Business Credit Corporation back to Bayport Funding LLC by Collateral Assignment of Mortgage dated December 13, 2022 to be recorded in the Office of the Clerk of the County of Nassau, State of New York.

Mortgage 2 is now being assigned from Bayport Funding LLC to Mortgage Electronic Registration Systems, Inc. ("MERS"), as nominee for United Wholesale Mortgage, LLC by Assignment of Mortgage dated 12/27/2022 to be recorded in the Office of the Clerk of the County of Nassau, State of New York.

The above Mortgages are now being consolidated to form a single lien in the amount of \$1,040,000.00 by Consolidation, Extension and Modification Agreement made by and between Neer Sachar and Mortgage Electronic Registration Systems, Inc. ("MERS"), as nominee for United Wholesale Mortgage, LLC, which Agreement is dated December 30, 2022 and is to be recorded in the Office of the Clerk of the County of Nassau, State of New York.

Fidelity National Title Insurance Company

Title No.: STNY-184488

SCHEDULE A CONTINUED

LEGAL DESCRIPTION

All that certain plot, piece or parcel of land, situate, lying and being in the Incorporated Village of Thomaston in Great Neck, in the Town of North Hempstead, County of Nassau, City and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point on southerly side of Grace Court North a distance of 310 feet easterly measured along the said southerly side of Grace Court North from the intersection of the said southerly side of Grace Court North with the easterly side of Grace Court West; and

RUNNING THENCE southerly at right angles to the southerly side of Grace Court North a distance of 139.10 feet to a point;

THENCE easterly, parallel to the southerly side of Grace Court North a distance of 70 feet to a point;

THENCE northerly again at right angles to the southerly side of Grace Court North a distance of 139.10 feet to the southerly side of Grace Court North;

THENCE westerly along the southerly side of Grace Court North a distance of 70 feet to the point or place of **BEGINNING**.

NOTE: Being Section 2, Block(s) 333, Lot(s) 10 and 25, Tax Map of the Town of Hempstead, County of Nassau, ^{North}

NOTE: Lot and Block shown for informational purposes only.

Issued by:
Saxony Title Services
3512 Quentin Road, Suite LL105, Brooklyn, NY 11234
Telephone: 718-692-1800 Fax: 718-692-1808

JUDGMENTS/LIENS



NASSAU COUNTY CLERK'S OFFICE
ENDORSEMENT COVER PAGE

Recorded Date: 01-10-2014
Recorded Time: 2:11:32 p

Record and Return To:

Liber Book:
Pages From:
To:

Control
Number: 1424
Ref #: JT14000743
Doc Type: J02 TRANSCRIPT OF JUDGMENT

Plnt: CITIBANK SOUTH DAKOTA NA
Dfnd: SACHAR, EDDIE

Judgment Amount: 1,706.38

	Taxes Total	.00
	Recording Totals	10.00
ADS001	Total Payment	10.00

THIS PAGE IS NOW PART OF THE INSTRUMENT AND SHOULD NOT BE REMOVED
MAUREEN O'CONNELL
COUNTY CLERK



2014011001424


TRANSCRIPT OF JUDGMENT

Index Number CV-046035-10/HE

JUDGMENT DEBTOR & ADDRESS		TRADE OR PROFESSION	JUDGMENT CREDITOR & ADDRESS		
(1) EDDIE SACHAR 10 GRACE AVE, GREAT NECK, New York 11021		Unknown	(1) CITIBANK SOUTH DAKOTA NA 701 E 60 STREET N, SIOUX FALLS, South Dakota 57117		
JUDGMENT DOCKETED		JUDGMENT RENDERED		AMOUNT	REMARKS Date and manner of change of Status and Judgment
Date	12/13/2013	Date	12/13/2013	Damages	Attorney for Judgment Creditor Name & Address FORSTER & GARBUS LLP 60 Motor Parkway, Commack, NY 11725-
Hr. & Min	Nassau	County	Nassau	Costs	
Index No	Nassau County District Court - 2nd District	Court	Nassau County District Court - 2nd District	Other Fees	
	Hr & Min. 03 50 PM			Total	
				\$1,706.38	
EXECUTION RETURNED UNSATISFIED		SATISFIED			
		WHEN	HOW & TO WHAT EXTENT		

State of New York
County of Nassau
Nassau County District Court - 2nd District

I, the undersigned judge/clerk of Nassau County District Court - 2nd District held at 99 Main Street, Hempstead, NY 11550, do hereby certify that the above is a correct transcription from the docket of the above judgment. I further certify that defendants, and/or debtors have been summoned, proof of which is filed with the above referenced court. In testimony whereof, I have hereunto set my name and affixed my official seal on this date: December 30, 2013


Sandra Lee, Clerk Civil Term A

Nassau County
Maureen O'Connell
County Clerk
Mineola, NY 11501



61 2015 00022126

Ref ID#: IN 09--016327

Instrument Number: 2015- 00022126

As

Recorded On: October 20, 2015

J01 - JUDGMENT-SUPREME COURT-MONEY

Recorded By: FORSTER & GARBUS

Num Of Pages: 6

Comment:

**** Examined and Charged as Follows: ****

J01 - JUDGMENT-SUPREME COU 0.00

Recording Charge: 0.00

Party Names--(All names may not be included. See the filed document)

Party Names--(All names may not be included. See the filed document)

Direct Party--Grantor/Mortgagor/etc

Reverse Party--Grantee/Mortgagee/etc

CITIBANK (SOUTH DAKOTA) N A

SACHAR, EDDIE

**** THIS PAGE IS PART OF THE INSTRUMENT ****

I hereby certify that the within and foregoing was recorded in the Clerk's Office For: Nassau County, NY

File Information:

Record and Return To:

Document Number: 2015- 00022126

Receipt Number: 17223

Recorded Date/Time: October 20, 2015 03:41:06P

Book-Vol/Pg: Bk-J VI-3925 Pg-182

Cashier / Station: 0 BMP / NCCL-CCQ4FP1



Maureen O'Connell

County Clerk Maureen O'Connell

SUPREME COURT OF THE STATE OF NEW YORK
COUNTY OF NASSAU

-----X
CITIBANK (SOUTH DAKOTA), N.A.,

Index No. 16327/09

Plaintiff,

-against-

J U D G M E N T

EDDIE SACHAR,

Defendant.

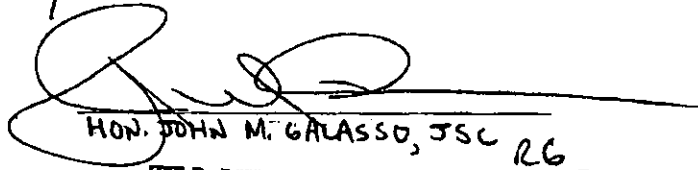
Account No. 372xxxxxxxx1211

-----X
UPON, this matter having come on for an Inquest hearing before the Honorable Steven M. Jaeger A.S.C.J., on the 20th day of August, 2013, and plaintiff having appeared by attorney and defendant having defaulted in appearing, and an Inquest to assess damages having being held, and upon the Decision and Order of the Hon. Steven M. Jaeger, issued on August 26, 2013.

NOW, on submission of Forster & Garbus, attorneys for Citibank (South Dakota), N.A., it is

ADJUDGED, that Citibank (South Dakota), N.A., maintaining offices for the transaction of business at 701 E 60 Street N., Sioux Falls, SD 57117, do recover of the Defendant, Eddie Sachar, residing at 10 Grace Court N., Great Neck, New York 11021-1432, the sum of \$16,459.07, together with interest from the date of entry of judgment, plus costs and disbursements of this action in the amount of \$550.00 for a total amount of \$17009.07 and that plaintiff have execution thereon.

ENTER: September 22, 2015


HON. JOHN M. GALASSO, JSC

ENTERED

OCT 05 2015

NASSAU COUNTY
COUNTY CLERK'S OFFICE

RG
ASTD
PMM

SUPREME COURT OF THE STATE OF NEW YORK
COUNTY OF NASSAU

-----X
CITIBANK (SOUTH DAKOTA), N.A.,

Index No. 16327/09

Plaintiff,

-against-

BILL OF COSTS

EDDIE SACHAR,

Defendant.

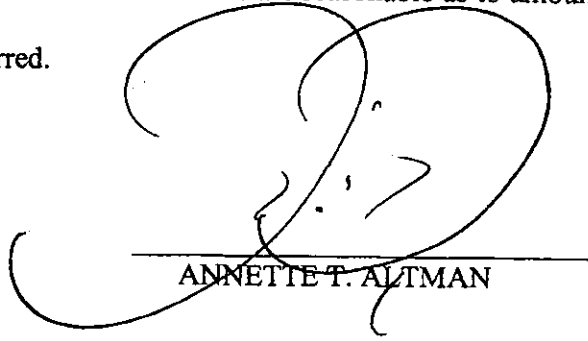
Account No. 372xxxxxxxx1211

COSTS BY STATUTE	\$200.00
SERVICE OF SUMMONS AND COMPLAINT	\$ 25.00 15.00
FILING OF SUMMONS AND COMPLAINT	\$210.00
REQUEST FOR JUDICIAL INTERVENTION	\$ 95.00
NOTICE OF TRIAL FEE	\$ <u>30.00</u>
TOTAL	\$560.00 550.00

COSTS
THIS 15th DAY OF September 2015
Annette T. Altman
CLERK, NASSAU CO.

The undersigned attorney, duly admitted to practice in the State of New York, affirms under penalty of perjury that the above disbursements are reasonable as to amount, and that they have been or will actually be incurred.

Dated: Commack, New York
September 1, 2015



ANNETTE T. ALTMAN

**SUPREME COURT OF THE STATE OF NEW YORK
COUNTY OF NASSAU**

-----X
CITIBANK (SOUTH DAKOTA), N.A.,

Index No. 16327/09

Plaintiff,

-against-

NOTICE OF SETTLEMENT

EDDIE SACHAR,

Defendant.

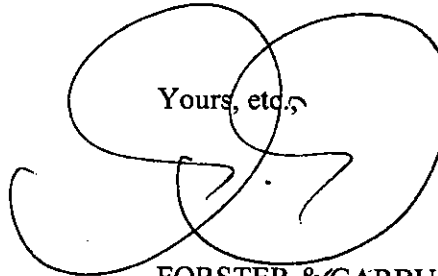
A/C # 372xxxxxxxx1211

-----X

PLEASE TAKE NOTICE that the proposed judgment of which the within is a true copy will be presented for Settlement to the Supreme Court of the State of New York, County of Nassau at 100 Supreme Court Drive, Mincola, New York 11501, on the 18th day of September, 2015 at 9:30 in the forenoon of that day, or as soon thereafter as counsel can be heard for settlement and signature.

Dated: Commack, New York
September 1, 2015

Yours, etc.,



FORSTER & GARBUS LLP
BY: Annette T. Altman, Esq.
Attorneys for Plaintiff
60 Motor Parkway
P.O. Box 9030
Commack, NY 11725
(631) 393-9400

RECEIVED BY
SUPREME COURT
NASSAU COUNTY
2015 SEP 10 PM 1:00

TO: Christopher Thompson, Esq.
Attorney for Defendant
33 Davison Lane East
West Islip, New York 11795

(PLEASE NOTE THAT WE ARE REQUIRED, UNDER FEDERAL LAW, TO ADVISE YOU THAT WE ARE DEBT COLLECTORS AND ANY INFORMATION WE OBTAIN WILL BE USED IN ATTEMPTING TO COLLECT THIS DEBT.)

STATE OF NEW YORK, COUNTY OF

ss.:

I, the undersigned, an attorney admitted to practice in the courts of New York State,

Certification By Attorney certify that the within has been compared by me with the original and found to be a true and complete copy.

Attorney's Affirmation state that I am the attorney(s) of record for

action; I have read the foregoing in the within and know the contents thereof; the same is true to my own knowledge, except as to the matters therein alleged to be on information and belief, and as to those matters I believe it to be true. The reason this verification is made by me and not by

Check Applicable Box

The grounds of my belief as to all matters not stated upon my own knowledge are as follows:

I affirm that the foregoing statements are true, under the penalties of perjury.

Dated:

.....
The name signed must be printed beneath

STATE OF NEW YORK, COUNTY OF

ss.:

I, the undersigned, being duly sworn, depose and say: I am

Individual Verification in the action; I have read the foregoing

and know the contents thereof; the same is true to my own knowledge, except as to the matters therein stated to be alleged on information and belief, and as to those matters I believe it to be true.

Corporate Verification the of a

corporation and a party in the within action; I have read the foregoing and know the contents thereof; and the same is true to my own knowledge, except as to the matters therein stated to be alleged upon information and belief, and as to those matters I believe it to be true. This verification is made by me because the above party is a corporation and I am an officer thereof.

Check Applicable Box

The grounds of my belief as to all matters not stated upon my own knowledge are as follows:

Sworn to before me on

.....
The name signed must be printed beneath

STATE OF NEW YORK, COUNTY OF

ss.:

(If more than one box is checked—indicate after names type of service used.)

I, the undersigned, being sworn, say: I am not a party to the action, am over 18 years of age and reside at

On I served the within

Service By Mail by mailing a copy to each of the following persons at the last known address set forth after each name below.

Personal Service on Individual by delivering a true copy of each personally to each person named below at the address indicated. I knew each person served to be the person mentioned and described in said papers as a party therein.

Service by Electronic Means by transmitting a copy to the following persons by FAX at the telephone number set forth after each name below E-MAIL at the E-Mail address set forth after each name below, which was designated by the attorney for such purpose, and by mailing a copy to the address set forth after each name.

Overnight Delivery Service by dispatching a copy by overnight delivery to each of the following persons at the last known address set forth after each name below.

Check Applicable Box

Sworn to before me on

.....
The name signed must be printed beneath

Index No. 16327 Year 2009 RJ No. Hon.
SUPREME COURT OF THE STATE OF NEW YORK
COUNTY OF NASSAU

CITIBANK (SOUTH DAKOTA), N.A.

Plaintiff,

-against-

EDDIE SACHAR,

Defendant.

JUDGMENT/BILL OF COSTS WITH NOTICE OF SETTLEMENT

FORSTER & GARBUS LLP
Attorneys for **Plaintiff**
Office and Post Office Address, Telephone
60 VANDERBILT MOTOR PARKWAY
P.O. BOX 9030
COMMACK, NEW YORK 11725
(631) 393-9400

To

Signature (Rule 130-1.1-a)

Attorney(s) for

Print name beneath

Service of a copy of the within

is hereby admitted.

Dated,

Attorney(s) for

Please take notice

NOTICE OF ENTRY

that the within is a (*certified*) true copy of a
duly entered in the office of the clerk of the within named court on

NOTICE OF SETTLEMENT

that an order
settlement to the HON.
of the within named court, at
on

of which the within is a true copy will be presented for
one of the judges

at M

Dated,

Yours, etc.

To

Attorney(s) for

10/5
FORSTER & GARBUS LLP
Attorneys for
Office and Post Office Address
60 VANDERBILT MOTOR PARKWAY
P.O. BOX 9030
COMMACK, NEW YORK 11725

COUNTY OF NASSAU

OCT 05 2015

NASSAU INDEX #

09-016327

Nassau County
Maureen O'Connell
County Clerk
Mineola, NY 11501



61 2017 00251209

Ref ID#: JT 17 014892

Instrument Number: 2017- 00251209

As

J62 - CD VAC & ADD

Recorded On: November 21, 2017

Parties: CITIBANK SOUTH DAKOTA NA

TO SACHAR EDDIE

Recorded By: FORSTER & GARBUS LLP

Num Of Pages:

Comment:

**** Examined and Charged as Follows: ****

J62 - CD VAC & ADD	10.00
Recording Charge:	10.00

**** THIS PAGE IS PART OF THE INSTRUMENT ****

I hereby certify that the within and foregoing was recorded in the Clerk's Office For: Nassau County, NY

File Information:

Record and Return To:

Document Number: 2017- 00251209

Receipt Number: 877542

Recorded Date/Time: November 21, 2017 11:55:53A

Book-Vol/Pg:

Cashier / Station: 0 LP / NCCL-755BDP1



Maureen O'Connell

County Clerk Maureen O'Connell

11/10/14
114006743

JUDGMENT DEBTOR & ADDRESS TRADE OR PROFESSION JUDGMENT CREDITOR & ADDRESS

(1) EDDIE SACHAR (1) CITIBANK SOUTH DAKOTA NA
 10 GRACE AVE, GREAT NECK, New York 11021 701 E 60 STREET N, SIOUX FALLS, South Dakota 57117

JUDGMENT DOCKETED		JUDGMENT RENDERED		AMOUNT		Attorney for Judgment Creditor Name & Address		REMARKS: Date and manner of change of Status and Judgment	
Date	12/13/2013	Date	12/13/2013	Damages	\$1,341.82	FORSTER & GARBUS LLP 60 Motor Parkway, Commack, NY 11725- Judgment issued on 12/13/2013 vacated. New Judgment entered on 9/22/14 as follows: Award: \$4235.50; costs: \$335.00; other fees: \$29.44; TOTAL \$4,599.94			
Hr. & Min.	Nassau	County	Nassau	Costs	\$335.00				
Index No.	Nassau County District Court - 2nd District	Court	Nassau County District Court - 2nd District	Other Fees	\$29.56				
	Hr. & Min. 03:50 PM			Total	\$1,706.38				
EXECUTION RETURNED	SATISFIED								
UNSATISFIED	WHEN	HOW & TO WHAT EXTENT							

I, the undersigned clerk of Nassau County District Court - 2nd District held at 99 Main Street, Hempstead, NY 11550, do hereby certify that the above is a correct transcript from the docket of the above judgment. I further certify that defendants, and/or debtors have been summoned per the remarks entered above. And I further certify the above judgment has been Entered, proof of which is filed with the above referenced court. In testimony whereof, I have hereunto set my name and affixed my official seal on this date: August 21, 2017



Sandra Lee, Clerk Civil Term



Nassau County
Maureen O'Connell
County Clerk
Mineola, NY 11501



61 2022 00012580

Ref ID#: JT 22 000657

Instrument Number: 2022- 00012580

As

J02 - TRANSCRIPT OF JUDGMENT

Recorded On: January 31, 2022

Parties: CHESTNUT DERRICK

TO SACHAR EDDIE

Recorded By: MIRMAN

Num Of Pages:

Comment:

**** Examined and Charged as Follows: ****

J02 - TRANSCRIPT OF JUDGMEN 10.00
Recording Charge: 10.00

**** THIS PAGE IS PART OF THE INSTRUMENT ****

I hereby certify that the within and foregoing was recorded in the Clerk's Office For: Nassau County, NY

File Information:

Record and Return To:

Document Number: 2022- 00012580

Receipt Number: 2493472

Recorded Date/Time: January 31, 2022 10:00:51A

Book-Vol/Pg:

Cashier / Station: 0 EJM / NCCL-DW377X2



Maureen O'Connell

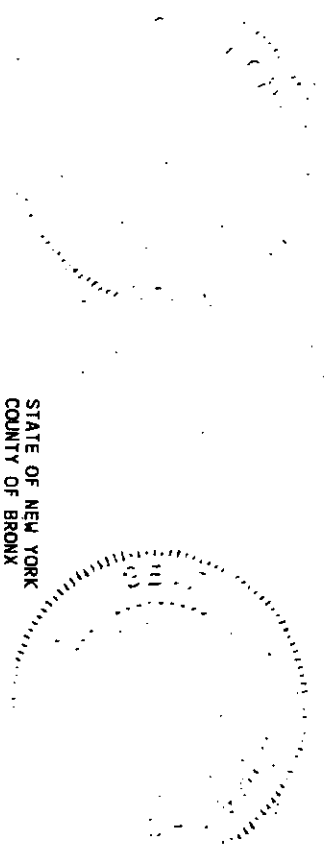
County Clerk Maureen O'Connell

NO. 00004

REMARKS: DATE AND MANNER OF CHANGE OF STATUS OF JUDGMENT

NO REMARKS FOR THIS RECORD

<<< NO FEE >>> TRANSCRIPT OF JUDGMENT <<< NO FEE >>>



STATE OF NEW YORK
COUNTY OF BRONX

ABOVE IS A CORRECT TRANSCRIPT FROM THE DOCKET OF JUDGMENTS IN MY OFFICE.

IN TESTIMONY WHEREOF, I HAVE HERE UNTO SET MY NAME AFFIXED MY OFFICIAL SEAL THIS 27 DAY January 20 22

ACTING COUNTY CLERK BRONX COUNTY

[Handwritten Signature]

NO. 00004

CONTROL NO. 002103511

NOTES

DATED

01/27/2022

JUDGMENT CREDITOR

CHESTNUT DERRICK L
112 TOMPKINS TERRACE
BEACON NY

JUDGMENT DEBTOR

SACHAR EDDIE
10 GRACE COURT
GREAT NECK NY 11021

ATTORNEY

MIRMAN, MARKOVITZ & LANDAU
291 BROADWAY 6TH FLOOR
NEW YORK NY 10007

TELEPHONE

MR. KEVIN ROTHERMEL
ACTING COUNTY CLERK, BRONX COUNTY
851 GRAND CONCOURSE
BRONX, N.Y. 10451

NO. 00004

DATE 11/12/2021

DOCKET SACHAR

EDDIE

\$ 33,838.15

PLEASE FILEMARK, FOLD AND
RETURN TO ISSUING COUNTY

FOR INFO ONLY

L/P IN 13—013052

CANCELLED ON 3/7/23

Nassau County
Maureen O'Connell
County Clerk
Mineola, NY 11501



Ref ID#: IN 13--013052

Instrument Number: 2023- 00028169
As

X25 - ELEC CANCEL LIS PEND/ATTACHMNT

Recorded On: March 07, 2023

Parties: THE BANK OF NEW YORK MELLON THE BANK OF NEW YORK AS TRUSTEE FOR THE CERTIFICATE
TO EVA SADON

Recorded By: SARA BORISKIN

Num Of Pages:

Comment:

**** Examined and Charged as Follows: ****

X25 - ELEC CANCEL LIS PEND/AT 0 00 Blocks - \$300 300.00

Recording Charge: 300.00

Property Description:

Line	Section	Block	Lot	Unit	Town Name
1	2	333	10		N. HEMPSTEAD
2	2	333	26		N. HEMPSTEAD

**** THIS PAGE IS PART OF THE INSTRUMENT ****

I hereby certify that the within and foregoing was recorded in the Clerk's Office For: Nassau County, NY

File Information:

Record and Return To:

Document Number: 2023- 00028169

Receipt Number: 2817865

Recorded Date/Time: March 07, 2023 02:39:03P

Book-Vol/Pg:

Cashier / Station: 0 KJL / NCCL-15ZTB42



Maureen O'Connell

County Clerk Maureen O'Connell

At 145 Term Part FP of the Supreme Court of the State of New York held in and for the County of NASSAU at the Courthouse, 100 Supreme Court Drive, Mineola, NY 11501 thereof on the 12th day of January 2023.

PRESENT: HON. DAVID P. SULLIVAN
Honorable J.S.C.
Justice

MOT #5

THE BANK OF NEW YORK MELLON F/K/A THE BANK OF NEW YORK, AS TRUSTEE FOR THE CERTIFICATEHOLDERS OF CWALT, INC., ALTERNATIVE LOAN TRUST 2005-76, MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2005-76,

Plaintiff,

vs.

EVA SADON A/K/A EVA S. SACHAR; EDDIE SACHAR; AVNER KANFI; MIDLAND FUNDING LLC S/H/A MIDLAND FUNDING LLC APO GE MONEY BANK; BPD BANK AS SUCCESSOR IN INTEREST TO BPD FINANCE COMPANY; GEMINI CAPITAL GROUP LLC; METRO PORTFOLIOS INC.;

Defendants.

ORDER DISCONTINUING ACTION. CANCELING NOTICE OF PENDENCY AND VACATING THE JUDGMENT OF FORECLOSURE AND SALE

INDEX NO. 013052/2013

MORTGAGED PREMISES:
10 GRACE COURT NORTH
GREAT NECK, NY 11021

Section: 2
Block: 333
Lot: 10 and 25

*2/1/19
21599*

and upon Motion of

On reading and filing the Notice of Motion and Affirmation of ROBERTSON, ANSCHUTZ, SCHNEID, CRANE & PARTNERS, PLLC, Oluwatobi Adedokun, Esq., attorneys of record for Plaintiff,

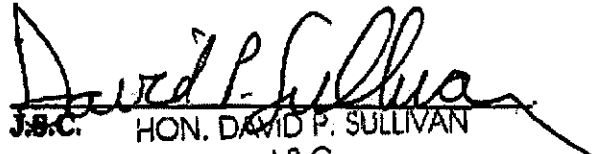
IT IS HEREBY ORDERED, that the Judgment of Foreclosure and Sale granted on January 31, 2019 and duly entered in the Office of the Clerk of the County of Nassau on February 01, 2019 be marked vacated by said clerk, and the clerk is hereby directed to do so and it is further

ORDERED, that this action, and all causes of action alleged therein are hereby discontinued, ~~any and all counterclaims and cross claims are hereby dismissed~~ without costs to either party as against the other and that the notices of pendency of this action filed in the Office of the Clerk of the County of Nassau on October 29, 2013, May 18, 2017 and April 10, 2018, be marked canceled and discharged of record, and the clerk is hereby directed to do so upon the payment of proper fees; and it is further

ORDERED, that the Referee appointed therein is hereby discharged and relieved of any and all obligations thereunder; and it is further

ORDERED, that the Clerk of Nassau County be served with a copy of this order with Notice of Entry and execute same accordingly.

Jan. 12, 2023


J.S.C. HON. DAVID P. SULLIVAN
J.S.C.

ENTERED

MAR 07 2023

NASSAU COUNTY
COUNTY CLERK'S OFFICE

FOR INFO ONLY

PRIOR MORTGAGE XL 29727 MP580

SAT ON 12-19-22

**** Electronically Filed Document ****

Instrument Number: 2022-117797

Recorded As: EX-M40 - MORTGAGE SA

Recorded On: December 19, 2022

Recorded At: 11:32:27 am

Receipt Number: 2762888

Number of Pages: 3

Processed By: 001 AH

Book-VI/Pg: Bk-S VI-7413 Pg-893

Total Rec Fee(s): \$356.00

** Examined and Charged as Follows **

40 - MORTGAGE SATISFACTION	\$ 55.50	EX-AR Addit Ref .50	\$ 0.50	EX-Blocks - Mortgages - \$300	\$ 300.00
----------------------------	----------	---------------------	---------	-------------------------------	-----------

Property information:

Section	Block	Lot	Unif	Town Name
2	333	10		N. HEMPSTEAD
2	333	25		N. HEMPSTEAD

*****THIS PAGE IS PART OF THE INSTRUMENT *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell
County Clerk Maureen O'Connell

Return By Mail To:
Shellpoint Mortgage Servicing
C/O Nationwide Title Clearing, LLC
2100 Alt. 19 North
Palm Harbor, FL 34683

SATISFACTION OF MORTGAGE

KNOW ALL MEN BY THESE PRESENTS, that THE BANK OF NEW YORK MELLON FKA THE BANK OF NEW YORK, AS TRUSTEE FOR THE CERTIFICATEHOLDERS OF CWALT, INC., ALTERNATIVE LOAN TRUST 2005-76, MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2005-76 having its principal place of business at:

C/O 75 BEATTIE PLACE, SUITE 300, GREENVILLE, SC 29601

Does hereby proclaim that the following Mortgage(s) is(are) paid, and does hereby consent that the same be discharged of record.

Mortgage dated 10/26/2005, made by EVA SADON AND EDDIE SACHAR (Borrowers) to MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC., AS MORTGAGEE, AS NOMINEE FOR COUNTRYWIDE BANK, N.A., ITS SUCCESSORS AND ASSIGNS (Mortgagee) in the principal sum of \$735,000.00 and recorded on 11/21/2005 as Book M 29727 and Page 580, in the Office of the Clerk of NASSAU County, NY.

See Exhibit attached for Assignments, Modifications etc.

Property Address: 10 GRACE CT N
GREAT NECK, NY 11021-1432

Dated on DEC 07 2022 (MM/DD/YYYY)

THE BANK OF NEW YORK MELLON FKA THE BANK OF NEW YORK, AS TRUSTEE FOR THE CERTIFICATEHOLDERS OF CWALT, INC., ALTERNATIVE LOAN TRUST 2005-76, MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2005-76, by NEWREZ LLC D/B/A SHELLPOINT MORTGAGE SERVICING, its Attorney-in-Fact (FOA RECORDED: 03/07/2022 BK: 14215 PG: 749 INSTR#: 2022-29367)

By: Janelynne Hedden
Vice President

STATE OF SOUTH CAROLINA COUNTY OF GREENVILLE
Before me, DEC 07 2022 (MM/DD/YYYY), the undersigned, personally appeared JANELYNNE HEDDEN as VICE PRESIDENT for NEWREZ LLC D/B/A SHELLPOINT MORTGAGE SERVICING as Attorney-in-Fact for THE BANK OF NEW YORK MELLON FKA THE BANK OF NEW YORK, AS TRUSTEE FOR THE CERTIFICATEHOLDERS OF CWALT, INC., ALTERNATIVE LOAN TRUST 2005-76, MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2005-76; personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Aisha Butler
Aisha Butler
Notary Public - STATE OF SOUTH CAROLINA
Commission expires:

Document Prepared By: Doc Curative Department, NewRez LLC dba Shellpoint Mortgage Servicing, 75 Beattie Place, Suite 300, Greenville, SC 29601, Toll-free Phone: (800) 365-7107
Property ID(S/B/L) Section: 2 Block: 333 Lot: 10,25,10,25
SPTRC 435858699 BANA \$356.00 T062212-01:38:05 [C-2] RCNNYNA1



00098704442



Exhibit

Assignment: MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC. AS NOMINEE FOR COUNTRYWIDE BANK, N.A., ITS SUCCESSORS AND ASSIGNS TO THE BANK OF NEW YORK MELLON FKA THE BANK OF NEW YORK, AS TRUSTEE FOR THE CERTIFICATEHOLDERS OF CWALT, INC., ALTERNATIVE LOAN TRUST 2005-76, MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2005-76 DATED 09-13-2011. REC: 12-20-2011 BK M 36692 PG 265



435058689



D0098704442

FOR INFO ONLY

UCC # UC 22 003868 FILED ON 11-22-22

TERMINATED ON 1-24-23

Nassau County
Maureen O'Connell
County Clerk
Mineola, NY 11501



Ref ID#: UC 22 003868

Instrument Number: 2022- 00285609

As

U02 - UCC 1 WITH REALTY

Recorded On: November 22, 2022

Parties: GRACE COURT BH LLC

TO BAYPORT FUNDING LLC

Recorded By: MADISON

Num Of Pages:

Comment:

**** Examined and Charged as Follows: ****

U02 - UCC 1 WITH REALTY 40.00 Blocks - \$300 300.00
Recording Charge: 340.00

Property Description:

Line	Section	Block	Lot	Unit	Town Name
1	2	333	10		N. HEMPSTEAD
2	2	333	25		N. HEMPSTEAD

**** THIS PAGE IS PART OF THE INSTRUMENT ****

I hereby certify that the within and foregoing was recorded in the Clerk's Office For: Nassau County, NY

File Information:

Record and Return To:

Document Number: 2022- 00285609

Receipt Number: 2746466

Recorded Date/Time: November 22, 2022 12:22:30P

Book-Vol/Pg:

Cashier / Station: D CAG / NCCL-9SRSFK2



Maureen O'Connell

County Clerk Maureen O'Connell

UCC FINANCING STATEMENT

FOLLOW INSTRUCTIONS (from and back) CAREFULLY

A NAME & PHONE OF CONTACT AT FILER (optional)

B SEND ACKNOWLEDGMENT TO: (Name and Address)

Bayport Funding LLC
98 Cuttermill Road, Suite 424N,
Great Neck, New York 11021

THE ABOVE SPACE IS FOR FILING OFFICE USE ONLY

1 DEBTOR'S EXACT FULL LEGAL NAME - insert only one debtor name (1a or 1b) - do not abbreviate or combine names

1a ORGANIZATION'S NAME
GRACE COURT BH LLC

1b INDIVIDUAL'S LAST NAME **FIRST NAME** **MIDDLE NAME** **SUFFIX**

1c MAILING ADDRESS **CITY** **STATE** **POSTAL CODE** **COUNTRY**

34 Cedar Drive Great Neck NY 11021 USA

1d SEE INSTRUCTIONS **ADD'L INFO RE ORGANIZATION DEBTOR** **1e TYPE OF ORGANIZATION** **1f JURISDICTION OF ORGANIZATION** **1g ORGANIZATIONAL I.D.#, if any**

LLC New York NONE

2 ADDITIONAL DEBTOR'S EXACT FULL LEGAL NAME - insert only one debtor (use 2a or 2b) - do not combine or abbreviate names

2a ORGANIZATION'S NAME

2b INDIVIDUAL'S LAST NAME **FIRST NAME** **MIDDLE NAME** **SUFFIX**

2c MAILING ADDRESS **CITY** **STATE** **POSTAL CODE** **COUNTRY**

2d SEE INSTRUCTIONS **ADD'L INFO RE ORGANIZATION DEBTOR** **2e TYPE OF ORGANIZATION** **2f JURISDICTION OF ORGANIZATION** **2g ORGANIZATIONAL I.D.#, if any**

NONE

3 SECURED PARTY'S NAME (or NAME of TOTAL ASSIGNEE of ASSIGNOR S/P - insert only one secured party name (3a or 3b))

3a ORGANIZATION'S NAME
BAYPORT FUNDING LLC

OR

3b INDIVIDUAL'S LAST NAME **FIRST NAME** **MIDDLE NAME** **SUFFIX**

3c MAILING ADDRESS **CITY** **STATE** **POSTAL CODE** **COUNTRY**

98 Cuttermill Road, Suite 424N Great Neck NY 11021

4. This FINANCING STATEMENT covers the following collateral

SEE EXHIBIT "A" ANNEXED HERETO AND MADE A PART HEREOF, AS WELL AS ALL ASSETS OF DEBTOR

Location of property commonly known as:
10 Grace Court North
Great Neck, New York 11021

Section: 2 Block: 333, Lot: 10 and 25

County: Nassau
State: New York

5 ALTERNATIVE DESIGNATION (if applicable) LESSEE/LESSOR CONSIGNEE/CONSIGNOR BAILEE/BAILOR SELLER/BUYER AG. LIEN NON-UCC FILING

6 This FINANCING STATEMENT is to be filed (for record) (or recorded) in the REAL ESTATE RECORDS. Attach Addendum (if applicable) **7. Check to REQUEST SEARCH REPORT(s) on Debtor(s) (ADDITIONAL FEE)** (optional) All Debtors Debtor 1 Debtor 2

ESTATE RECORDS

8 OPTIONAL FILER REFERENCE DATA
To be recorded in Nassau County

UNIFORM COMMERCIAL CODE ADDENDUM

FOLLOW INSTRUCTIONS (front and back) CAREFULLY

9. NAME OF FIRST DEBTOR (1a OR 1b) ON RELATED FINANCING STATEMENT

9a. ORGANIZATION'S NAME

GRACE COURT BH LLC

9b. INDIVIDUAL'S LAST NAME

FIRST NAME

MIDDLE NAME, SUFFIX

10. MISCELLANEOUS:

THE ABOVE SPACE IS FOR FILING OFFICE USE ONLY

11. ADDITIONAL DEBTOR'S EXACT FULL LEGAL NAME - insert only one name (11a OR 11b) - Do Not Abbreviate or Combine Names

11a. ORGANIZATION'S NAME

11b. INDIVIDUAL'S LAST NAME

FIRST NAME

MIDDLE NAME

SUFFIX

11c. MAILING ADDRESS

CITY

STATE

POSTAL CODE

COUNTRY

11d. SEE INSTRUCTIONS

ADD'L INFO RE:
ORGANIZATION
DEBTOR

11e. TYPE OF ORGANIZATION

11f. JURISDICTION OF
ORGANIZATION

11g. ORGANIZATIONAL ID
 NONE

12. ADDITIONAL SECURED PARTY'S NAME or ASSIGNOR'S SIP'S - insert only one secured party name (12a OR 12b)

12a. ORGANIZATION'S NAME

12b. INDIVIDUAL'S LAST NAME

FIRST NAME

MIDDLE NAME

SUFFIX

12c. MAILING ADDRESS

CITY

STATE

POSTAL CODE

COUNTRY

13. This FINANCING STATEMENT covers timber to be cut or
 as-extracted collateral, or is filed as a fixture filing.

14. Description of real estate:

Location of property commonly known as:
10 Grace Court North
Great Neck, New York 11021

Section: 2 Block: 333, Lot: 10 and 25

County: Nassau
State: New York

15. Name and address of a RECORD OWNER of above-described real estate (if Debtor does not have a record interest):

16. Additional collateral description

17. Check only if applicable and check only one box.

Debtor is a Trust or Trustee acting with respect to property held in trust or
 Decedent's Estate

18. Check only if applicable and check only one box.

Debtor is a TRANSMITTING UTILITY
 Filed in connection with a Manufactured-Home Transaction - effective 30 years
 Filed in connection with a Public-Finance Transaction - effective 30 years

**EXHIBIT A
TO
UNIFORM COMMERCIAL CODE FINANCING STATEMENT (FORM UCC-1)**

DEBTOR: GRACE COURT BH LLC

SECURED PARTY: BAYPORT FUNDING LLC

ITEM 4 (CONTINUED): This FINANCING STATEMENT covers the following types or items of property (which, together with the Real Property, as defined below, constitutes and is referred to herein as the "Property") in which Debtor has any interest, whether currently owned or hereafter acquired, relating to, generated from, arising out of or incidental to the ownership, development, use or operation of the real property (the "Real Property") more particularly described on Schedule "1" attached hereto (whether or not subsequently removed from the Real Property), including, without limitation, the follows:

(a) all easements, rights-of-way, strips and gores of land, streets, ways, alleys, passages, sewer rights, water, water courses, water rights and powers, air rights and development rights, all rights to oil, gas, minerals, coal and other substances of any kind or character, and all estates, rights, titles, interests, privileges, liberties, tenements, hereditaments and appurtenances of any nature whatsoever, in any way belonging, relating or pertaining to the Premises and the Improvements and the reversion and reversions, remainder and remainders, and all land lying in the bed of any street, road, highway, alley or avenue, opened, vacated or proposed, in front of or adjoining the Premises, to the center line thereof and all the estates, rights, titles, interests, dower and rights of dower, curtesy and rights of curtesy, property, possession, claim and demand whatsoever, both at law and in equity, of Mortgagor of, in and to the Premises and the Improvements and every part and parcel thereof, with the appurtenances thereto;

(b) all machinery, furniture, furnishings, equipment, computer software and hardware, fixtures (including, without limitation, all heating, air conditioning, plumbing, lighting, communications and elevator fixtures) and other property of every kind and nature, whether tangible or intangible, whatsoever owned by Mortgagor, or in which Mortgagor has or shall have an interest, now or hereafter located upon the Premises and the Improvements, or appurtenant thereto, and usable in connection with the present or future operation and occupancy of the Premises and the Improvements and all building equipment, materials and supplies of any nature whatsoever owned by Mortgagor, or in which Mortgagor has or shall have an interest, now or hereafter located upon the Premises and the Improvements, or appurtenant thereto, or usable in connection with the present or future operation, enjoyment and occupancy of the Premises and the Improvements (hereinafter collectively referred to as the "Equipment"), including any leases of any of the foregoing, any deposits existing at any time in connection with any of the foregoing, and the proceeds of any sale or transfer of the foregoing, and the right, title and interest of Mortgagor in and to any of the Equipment that may be subject to any "security interests" as defined in the Uniform Commercial Code, as adopted and enacted by the State or States where any of the Mortgaged Property is located (the "Uniform Commercial Code"), superior in lien to the lien of this Mortgage.

EXHIBIT A (Continued)

DEBTOR: GRACE COURT BH LLC

SECURED PARTY: BAYPORT FUNDING LLC

(c) all awards or payments, including interest thereon, that may heretofore and hereafter be made with respect to the Premises and the Improvements, whether from the exercise of the right of eminent domain or condemnation (including, without limitation, any transfer made in lieu of or in anticipation of the exercise of said rights), or for a change of grade, or for any other injury to or decrease in the value of the Premises and Improvements;

(d) all leases and other agreements or arrangements heretofore or hereafter entered into affecting the use, enjoyment or occupancy of, or the conduct of any activity upon or in, the Premises and the Improvements, including any extensions, renewals, modifications or amendments thereof (hereinafter collectively referred to as the "Leases") and all rents, rent equivalents, moneys payable as damages or in lieu of rent or rent equivalents, royalties (including, without limitation, all oil and gas or other mineral royalties and bonuses), income, fees, receivables, receipts, revenues, deposits (including, without limitation, security, utility and other deposits), accounts, cash, issues, profits, charges for services rendered, and other payment and consideration of whatever form or nature received by or paid to or for the account of or benefit of Mortgagor or its agents or employees from any and all sources arising from or attributable to the Premises and the Improvements (hereinafter collectively referred to as the "Rents"), together with all proceeds from the sale or other disposition of the Leases and the right to receive and apply the Rents to the payment of the Debt;

(e) all proceeds of and any unearned premiums on any insurance policies covering the Mortgaged Property, including, without limitation, the right to receive and apply the proceeds of any insurance, judgments, or settlements made in lieu thereof, for damage to the Mortgaged Property;

(f) all accounts, escrows, documents, instruments, chattel paper, claims, deposits and general intangibles, as the foregoing terms are defined in the Uniform Commercial Code, and all franchises, trade names, trademarks, symbols, service marks, books, records, plans, specifications, designs, drawings, permits, consents, licenses, management agreements, contract rights (including, without limitation, any contract with any architect or engineer or with any other provider of goods or services for or in connection with any construction, repair, or other work upon the Mortgaged Property), approvals, actions, refunds of real estate taxes and assessments (and any other governmental impositions related to the Mortgaged Property), and causes of action that now or hereafter relate to, are derived from or are used in connection with the Mortgaged Property, or the use, operation, maintenance, occupancy or enjoyment thereof or the conduct of any business or activities thereon (hereinafter collectively referred to as the "Intangibles"); and

(g) all proceeds, products, offspring, rents and profits from any of the foregoing, including, without limitation, those from sale, exchange, transfer, collection, loss, damage, disposition, substitution or replacement of any of the foregoing.

**SCHEDULE 1 TO EXHIBIT A TO
UNIFORM COMMERCIAL CODE FINANCING
STATEMENT (FORM UCC-1)**

DEBTOR: GRACE COURT BH LLC

SECURED PARTY: BAYPORT FUNDING LLC

Legal Description of Property attached hereto

Fidelity National Title Insurance Company

Title No.: STNY-182976

SCHEDULE A

LEGAL DESCRIPTION

All that certain plot, piece or parcel of land, situate, lying and being in the Incorporated Village of Thomaston in Great Neck, in the Town of Hempstead, County of Nassau, City and State of New York, being more particularly bounded and described as follows:

BEGINNING at a point on southerly side of Grace Court North a distance of 310 feet easterly measured along the said southerly side of Grace Court North from the intersection of the said southerly side of Grace Court North with the easterly side of Grace Court West; and

RUNNING THENCE southerly at right angles to the southerly side of Grace Court North a distance of 139.10 feet to a point;

THENCE easterly, parallel to the southerly side of Grace Court North a distance of 70 feet to a point;

THENCE northerly again at right angles to the southerly side of Grace Court North a distance of 139.10 feet to the southerly side of Grace Court North;

THENCE westerly along the southerly side of Grace Court North a distance of 70 feet to the point or place of **BEGINNING**.

NOTE: Being Section 2, Block(s) 333, Lot(s) 10 and 25, Tax Map of the Town of Hempstead, County of Nassau.

NOTE: Lot and Block shown for informational purposes only.

Issued by:
Saxony Title Services
3512 Quentin Road, Suite LL105, Brooklyn, NY 11234
Telephone: 718-692-1800 Fax: 718-692-1808

Nassau County
Maureen O'Connell
County Clerk
Mineola, NY 11501



Ref ID#: UC 22 003868

Instrument Number: 2023- 00292335

As

U08 - UCC TERMINATION

Recorded On: January 24, 2023

Parties: GRACE COURT BH LLC

TO BAYPORT FUNDING LLC

Num Of Pages:

Recorded By: SAXONY TITLE SERVICES LLC

Comment:

**** Examined and Charged as Follows: ****

U08 - UCC TERMINATION 40.00 Blocks - \$300 300.00
Recording Charge: 340.00

Property Description:

Line	Section	Block	Lot	Unit	Town Name
1	2	333	10		N. HEMPSTEAD
2	2	333	25		N. HEMPSTEAD

**** THIS PAGE IS PART OF THE INSTRUMENT ****

I hereby certify that the within and foregoing was recorded in the Clerk's Office For: Nassau County, NY

File Information:

Record and Return To:

Document Number: 2023- 00292335

Receipt Number: 2786647

Recorded Date/Time: January 24, 2023 11:24:29A

Book-Vol/Pg:

Cashier / Station: 0 BMP / NCCL-3KYSH03



Maureen O'Connell

County Clerk Maureen O'Connell

STAY-18994

UCC FINANCING STATEMENT AMENDMENT

FOLLOW INSTRUCTIONS (front and back) CAREFULLY

A. NAME & PHONE OF CONTACT AT FILER [optional]
Bayport Funding LLC

B. SEND ACKNOWLEDGMENT TO: (Name and Address)

**United Wholesale Mortgage, LLC
 585 South Boulevard E
 Pontiac, MI 48341**

THE ABOVE SPACE IS FOR FILING OFFICE USE ONLY

1a. INITIAL FINANCING STATEMENT FILE #
Instrument #: 2022-285609; Filed 11/22/2022 UCLL003868

1b. This FINANCING STATEMENT AMENDMENT is to be filed (for record) (or recorded) in the REAL ESTATE RECORDS

2. **TERMINATION:** Effectiveness of the Financing Statement identified above is terminated with respect to security interest(s) of the Secured Party authorizing this Termination Statement.

3. **CONTINUATION:** Effectiveness of the Financing Statement identified above with respect to security interest(s) of the Secured Party authorizing this Continuation Statement is continued for the additional period provided by applicable law.

4. **ASSIGNMENT (full or partial):** Give name of assignee in item 7a or 7b and address of assignee in item 7c; and also give name of assignor in item 9.

5. **AMENDMENT (PARTY INFORMATION):** This Amendment affects Debtor or Secured Party of record. Check only one of these two boxes.

Also check one of the following three boxes and provide appropriate information in items 6 and/or 7.

CHANGE name and/or address: Please refer to the attached instructions in regards to changing the name/address of a party. **DELETE** name: Give record name to be deleted in item 6a or 6b. **ADD** name: Complete item 7a or 7b and also item 7c; also complete items 7e-7g (if applicable).

6. **CURRENT RECORD INFORMATION**

6a. ORGANIZATION'S NAME
Grace Court BH LLC

OR 6b. INDIVIDUAL'S LAST NAME FIRST NAME MIDDLE NAME SUFFIX

7. **CHANGED (NEW) OR ADDED INFORMATION**

7a. ORGANIZATION'S NAME

OR 7b. INDIVIDUAL'S LAST NAME FIRST NAME MIDDLE NAME SUFFIX

7c. MAILING ADDRESS CITY STATE POSTAL CODE COUNTRY

7d. SEE INSTRUCTIONS ADDL INFO RE ORGANIZATION DEBTOR 7e. TYPE OF ORGANIZATION 7f. JURISDICTION OF ORGANIZATION 7g. ORGANIZATIONAL ID #, if any NONE

8. **AMENDMENT (COLLATERAL CHANGE):** check only one box.

Describe collateral deleted or added, or give entire recast collateral description, or describe collateral assigned.

9. **NAME OF SECURED PARTY OF RECORD AUTHORIZING THIS AMENDMENT** (name of assignor, if this is an Assignment). If this is an Amendment authorized by a Debtor which adds collateral or adds the authorizing Debtor, or if this is a Termination authorized by a Debtor, check here and enter name of **DEBTOR** authorizing this Amendment.

9a. ORGANIZATION'S NAME
BAYPORT FUNDING LLC

OR 9b. INDIVIDUAL'S LAST NAME FIRST NAME MIDDLE NAME SUFFIX

10. OPTIONAL FILER REFERENCE DATA

UCC FINANCING STATEMENT AMENDMENT ADDENDUM

FOLLOW INSTRUCTIONS (front and back) CAREFULLY

11. INITIAL FINANCING STATEMENT FILE # (same as Item 1a on Amendment form)

2022-285609

12. NAME OF PARTY AUTHORIZING THIS AMENDMENT (same as Item 9 on Amendment form)

12a. ORGANIZATION'S NAME

Bayport Funding LLC

OR

12b. INDIVIDUAL'S LAST NAME

FIRST NAME

MIDDLE NAME, SUFFIX

13. Use this space for additional information

THE ABOVE SPACE IS FOR FILING OFFICE USE ONLY

Nassau
Section: 2
Block: 333
Lot: 10, 25

N 206,250

GRACE CT. 310.

NORTH

WEST

GRACE CT.

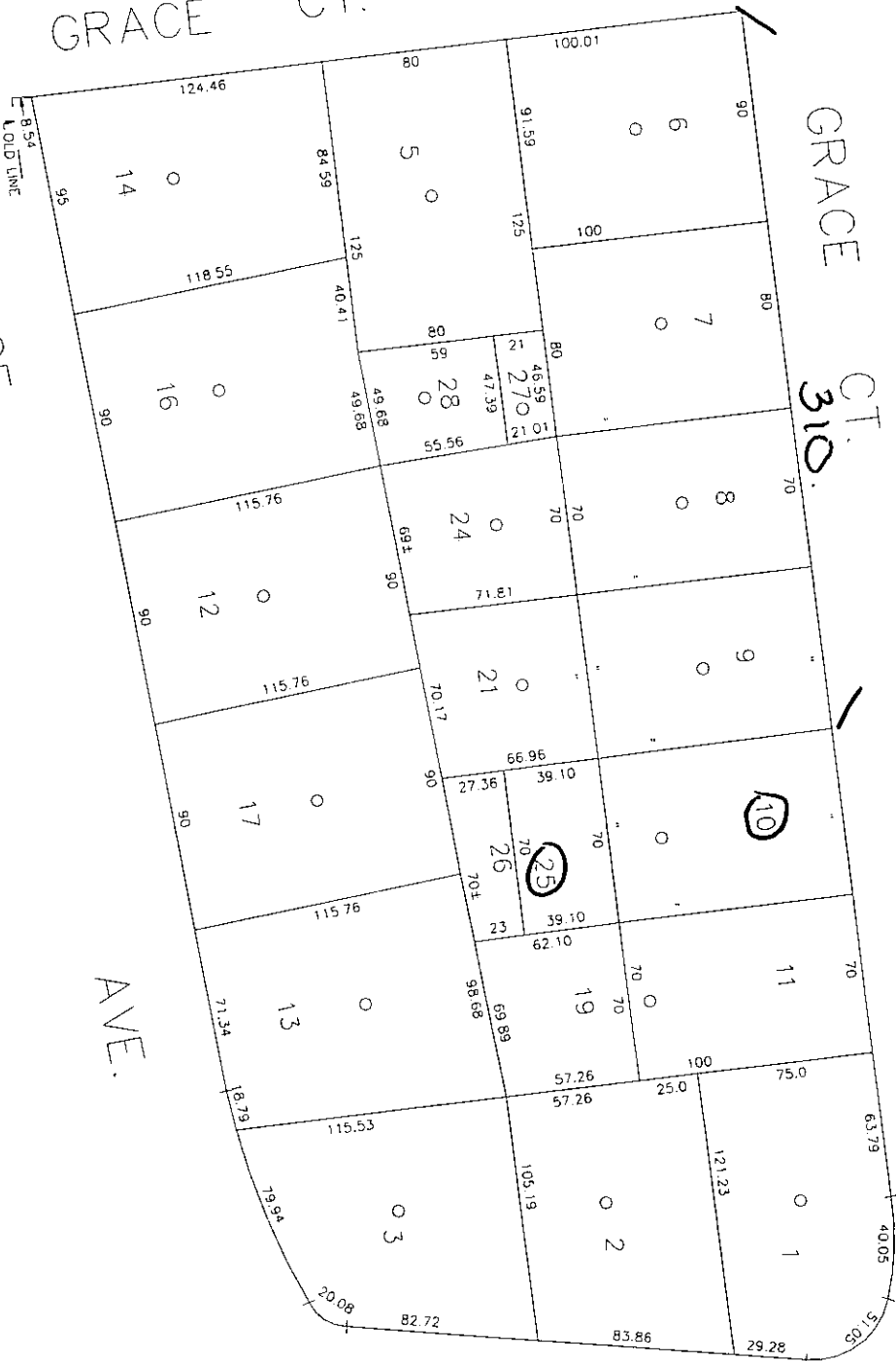
AVE.

GALLAGHER CT.

N 205,750

77,400

GRACE



350

NY PLANE COORDINATE SYSTEM

ACE CT. WEST

GRACE CT. 310



2-333-10,25 Reverse for
2.22.22

14350 p. 454

14323 p. 877

14301 p. 703

Ag. 47048 p. 913

47048 p. 891

Atm 47048 p. 888

Atm 47048 p. 884

Atm 47048 p. 881

Ag 46955 p. 415

46955 p. 374

Est. Eva Sadon Sachar NIF

Eva Sadon Sachar NIF

Eddie Sachar

1-10-14¹
NIF -

10-20-19¹, 11-21-22¹
11-21-17¹

52416 sat

Neer Sachar

Grace Court BH LLC NIF

Eva's Home Corp NIF

> to 11-25-22

~~L/D LN 13-013052~~

CANCEL 37-23

Search Criteria:

Dates->(Jan 01 1900 - May 07 2024)
 Main ->Section-(2) Block-(333) Lot-(10)
 Other->

Global SBL/NAMES/INDEX#-SBL Search Results

I Secti M	Block	Lot	Unit	TownCode	Control# Type	Recorded Date	Rec Time	Book Pfx	Book	Page	Instrument Ref # Date
** 2	333	10			1994-00001797 Mortgage	04/29/1994	2:58 PM	M	16263	465 994	00:00:00 02 CL 006654
** 2	333	10			1994-00000956 MORTGAGE SATISFACTION	06/07/1994	11:35 AM	S	03415	310 973	00:00:00
** 2	333	10			1995-00000782 ASSIGN MORTGAGE	05/01/1995	10:44 AM	M	16806	352 995	00:00:00
** 2	333	10			1998-00000658 MORTGAGE SATISFACTION	10/06/1998	11:13 AM	S	03954	38 990	00:00:00
** 2	333	10			1998-00000646 Deed	10/06/1998	11:13 AM	D	10969	46 998	00:00:00 RE RE 006561
** 2	333	10			1998-00000652 Mortgage	10/06/1998	11:13 AM	M	18962	455 998	00:00:00 MG CP 036091
** 2	333	10			1998-00000654 ASSIGN MORTGAGE	10/06/1998	11:13 AM	M	18962	465 998	00:00:00
** 2	333	10			1999-00000782 UCC 1 WITH REALTY	03/03/1999	11:01 AM			0 999	00:00:00 UC UC99003199
2	333	10			1999-00008393 SCAR	04/09/1999	4:52 PM			0 999	00:00:00 AR AR99012967
** 2	333	10			1999-00000535 MORTGAGE SATISFACTION	04/30/1999	10:44 AM	S	04024	375 994	00:00:00
** 2	333	10			1999-00001377 Mortgage	12/30/1999	2:30 PM	M	20076	878 999	00:00:00 MG CQ 049893
2	333	10			2000-00013375 SCAR	04/12/2000	11:31 AM			0:000	00:00:00 AR AR00018221
** 2	333	10			2001-00001181 UCC 3 AMEND/ASSIGN/REL/CONT	01/08/2001	12:28 PM			0:001	00:00:00 UC UC01000297
2	333	10			2001-00001105 DECISION	03/13/2001	12:35 PM			0:001	00:00:00 AR AR00018221
2	333	10			2004-00000198 SCAR	04/05/2004	7:06 PM			0:004	00:00:00 AR AR04000764
** 2	333	10			2004-00000662 Mortgage	05/24/2004	10:39 AM	M	26810	356:002	00:00:00 MG CV 025622
** 2	333	10			2005-00001951 NEGATIVE AMORTIZATION -1	11/21/2005	2:29 PM	M	29727	580:005	00:00:00 MG CW 073569
** 2	333	10			2005-00001951 NEGATIVE AMORTIZATION -1	11/21/2005	2:29 PM	M	29727	580:005	00:00:00 MG CW 073569
** 2	333	10			2005-00000253 MORTGAGE SATISFACTION	12/21/2005	9:57 AM	S	05327	387:004	00:00:00

sat

Search Criteria:

Dates-->(Jan 01 1900 - May 07 2024)
 Main ->Section-(2) Block-(333) Lot-(10)
 Other-->

Global SBL/NAMES/INDEX#-SBL Search Results

I Secti M	Block	Lot	Unit	TownCode	Control# Type	Recorded Date	Rec Time	Book Pfx	Book	Page	Instrument Ref # Date
** 2	333	10			2005-00000155 MORTGAGE SATISFACTION	12/22/2005	9:37 AM	S	05329	125 998	00:00:00
** 2	333	10			2006-00001245 UCC 1 WITH REALTY	01/04/2006	12:11 PM				0:006 00:00:00 UC UC06000022
** 2	333	10			2006-00001446 MORTGAGE SATISFACTION	01/04/2006	1:10 PM	S	05339	194 999	00:00:00
2	333	10			2007-00005005 SCAR	04/13/2007	10:00 AM				0:007 00:00:00 AR AR07019128
** 2	333	10			2007-00000896 UCC TERMINATION	07/16/2007	11:17 AM				0:007 00:00:00 UC UC07002959
** 2	333	10			2007-00000268 POWER OF ATTORNEY	10/16/2007	9:44 AM	D	12327	356:006	00:00:00
** 2	333	10			2007-00000269 Mortgage	10/16/2007	9:44 AM	M	32417	306:007	00:00:00 MG CY 042570
2	333	10			2008-00001336 SCAR- VILLAGE	01/18/2008	12:30 PM				0:008 00:00:00 AR AR08000536
** 2	333	10			2008-00002080 MORTGAGE SATISFACTION	06/09/2008	4:03 PM	S	05799	532:007	00:00:00
** 2	333	10			2010-00001441 Deed	11/09/2010	1:03 PM	D	12668	27:010	00:00:00 RE RE 005858
** 2	333	10			2011-00000006 ASSIGN MORTGAGE	12/20/2011	8:22 AM	M	36692	265:011	00:00:00
** 2	333	10			2013-00001022 LIS PENDENS	10/29/2013	11:40 AM	L	01903	80:013	00:00:00 IN 13--013052
** 2	333	10			2013-00001022 *DUPLICATE* LIS PENDENS	10/29/2013	11:40 AM	L	01903	80:013	00:00:00 IN 13--013052
** 2	333	10		N. HEMPSTEAD	2017-00127254 LIS PENDENS	05/18/2017	3:50 PM	L	02270	96:017	00:00:00 IN 13--013052
** 2	333	10		N. HEMPSTEAD	2017-00127254 *DUPLICATE* LIS PENDENS	05/18/2017	3:50 PM	L	02270	96:017	00:00:00 IN 13--013052
** 2	333	10		N. HEMPSTEAD	2018-00067081 LIS PENDENS	04/10/2018	4:22 PM	L	02307	237:018	00:00:00 IN 13--013052
** 2	333	10		N. HEMPSTEAD	2018-00067081 *DUPLICATE* LIS PENDENS	04/10/2018	4:22 PM	L	02307	237:018	00:00:00 IN 13--013052
** 2	333	10		N. HEMPSTEAD	2019-00065411 Deed	08/06/2019	3:12 PM	D	13834	23:019	00:00:00
** 2	333	10		N. HEMPSTEAD	✓ 2022-00096676 Deed	09/23/2022	11:10 AM	D	14301	703:022	00:00:00

Search Criteria:

Dates->(Jan 01 1900 - May 07 2024)
 Main ->Section-(2) Block-(333) Lot-(10)
 Other->

Global SBL/NAMES/INDEX#-SBL Search Results

I Secti M	Block	Lot	Unit	TownCode	Control# Type	Recorded Date	Rec Time	Book Pfx	Book Page	Instrument Ref # Date
** 2	333	10		N. HEMPSTEAD	2022-00285609 UCC 1 WITH REALTY (term)	11/22/2022	12:22 PM			:022 00:00:00 UC 22 003868
** 2	333	10		N. HEMPSTEAD	✓ 2022-00112588 Deed	11/23/2022	10:28 AM	D	14323 877	:022 00:00:00 144546711
** 2	333	10		N. HEMPSTEAD	✓ 2022-00112589 Mortgage	11/23/2022	10:29 AM	M	46955 374	:022 00:00:00 144546711
** 2	333	10		N. HEMPSTEAD	✓ 2022-00112590 MORTGAGE AGREEMENT	11/23/2022	10:30 AM	M	46955 415	:022 00:00:00 144546711
** 2	333	10		N. HEMPSTEAD	2022-00117797 MORTGAGE SATISFACTION	12/19/2022	11:32 AM	S	07413 693	:022 00:00:00 144935031
** 2	333	10		N. HEMPSTEAD	2023-00292335 UCC TERMINATION	01/24/2023	11:24 AM			:023 00:00:00 UC 22 003868
** 2	333	10		N. HEMPSTEAD	✓ 2023-00009964 Deed	02/14/2023	11:34 AM	D	14350 454	:022 00:00:00 145832011
** 2	333	10		N. HEMPSTEAD	✓ 2023-00009965 ASSIGN MORTGAGE	02/14/2023	11:37 AM	M	47048 881	:022 00:00:00 145832011
** 2	333	10		N. HEMPSTEAD	✓ 2023-00009966 ASSIGN MORTGAGE	02/14/2023	11:38 AM	M	47048 884	:022 00:00:00 145832011
** 2	333	10		N. HEMPSTEAD	✓ 2023-00009967 ASSIGN MORTGAGE	02/14/2023	11:39 AM	M	47048 888	:022 00:00:00 145832011
** 2	333	10		N. HEMPSTEAD	✓ 2023-00009968 Mortgage	02/14/2023	11:39 AM	M	47048 891	:022 00:00:00 145832011
** 2	333	10		N. HEMPSTEAD	✓ 2023-00009969 MORTGAGE AGREEMENT	02/14/2023	11:41 AM	M	47048 913	:022 00:00:00 145832011
** 2	333	10		N. HEMPSTEAD	2023-00028169 ELEC CANCEL LIS PEND/ATTACH	03/07/2023	2:39 PM			:023 00:00:00 IN 13--013052
** 2	333	10		N. HEMPSTEAD	2023-00028169 *DUPLICATE* ELEC CANCEL LIS P	03/07/2023	2:39 PM			:023 00:00:00 IN 13--013052

NOTICE: THIS DRAWING HAS BEEN PREPARED FOR THE SPECIFIC PROJECT INDICATED, AND IS AN INSTRUMENT OF SERVICE. COPYRIGHTED BY, AND THE SOLE PROPERTY OF, EDNA GUILOR, ARCHITECTS. THIS DRAWING MAY NOT BE COPIED OR USED, IN WHOLE OR IN PART, BY ANY PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF EDNA GUILOR, ARCHITECTS. INFRINGEMENTS OR ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSES WILL BE PROSECUTED TO THE FULL EXTENT OF CRIMINAL AND CIVIL LAW.

GENERAL NOTES:

ALL WORK SHALL CONFORM TO THE 2020 FIRE CODE OF NEW YORK STATE, 2020 BUILDING CODE OF NYS, 2020 RESIDENTIAL CODE OF NYS, AND ALL OTHER LOCAL CODES AND AGENCIES HAVING JURISDICTION.

ALL WORK SHALL CONFORM TO THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE.

ALL NEW CONSTRUCTION SHALL CONFORM TO AMERICAN WOOD COUNCIL, 2018 WOOD FRAME CONSTRUCTION MANUAL FOR 1 & 2 FAMILY DWELLINGS

ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 NATIONAL ELECTRICAL CODE (NFPA70) AND THE 2020 NEW YORK STATE RESIDENTIAL CODE.

ALL PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 PLUMBING CODE OF NEW YORK STATE AND ALL OTHER LOCAL CODES, ORDINANCES AND AGENCIES HAVING JURISDICTION AND TO THE STANDARDS OF THE LOCAL COUNTIES HEALTH DEPARTMENT.

THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS AND INSPECTIONS AND APPROVALS AS REQUIRED. PERMIT FEES TO BE PAID BY THE OWNER.

MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, SHALL BE INCLUDED IN THE WORK.

BUILDING SETBACKS ARE TO BE COMPUTED BY A STATE OF NEW YORK LICENSED SURVEYOR TO VERIFY ZONING CONFORMANCE PRIOR TO BEGINNING ANY WORK. THE ARCHITECT HAS NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF SETBACKS IN THE FIELD.

ALL WORK RELATED TO THIS PROJECT SHALL BE UNDERTAKEN BY QUALIFIED AND EXPERIENCED CRAFTSMEN, IN ACCORDANCE WITH THE GENERAL DESIGN AND AS APPROVED BY THE ARCHITECT/ENGINEER.

ALL WORKMANSHIP SHALL BE OF THE HIGHEST GRADE AND SHALL BE INSTALLED STRAIGHT, PLUMB, LEVEL, IN TRUE ALIGNMENT, CLOSELY FITTED, ACCURATELY SET TO REQUIRE LINES AND LEVELS, AND RIGIDLY SECURED IN PLACE.

THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES IMMEDIATELY: WRITTEN DIMENSIONS GOVERN OVER SCALED ONES.

CONTRACTOR SHALL CARRY APPROPRIATE INSURANCE'S: WORKER'S COM. AND LIABILITY IN THE SUM PRESCRIBED BY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.

CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION INCLUDING PROPER SHORING AND BRACING OF EXISTING STRUCTURE TO ENSURE SAFETY THROUGH OUT THE CONSTRUCTION PROCESS

CONTRACTOR AND OR OWNER ARE SOLELY RESPONSIBLE FOR SCHEDULING REQUIRED INSPECTIONS DURING THE COURSE OF CONSTRUCTION.

CONCRETE:

CONCRETE SHALL CONFORM TO THE LATEST EDITION OF ACI-318

MINIMUM COMPRESSIVE STRENGTHS OF CONCRETE USED ARE TO BE IN COMPLIANCE WITH TABLE 402.2 OF THE 2015 IRC AS FOLLOWS:
BASEMENT WALLS, FOUNDATION WALLS, FOOTINGS, INTERIOR SLABS ON GRADE (OTHER THAN GARAGE FLOOR SLAB) EXTERIOR AND OTHER WALLS EXPOSED TO THE WEATHER: 3,000 PSI
PORCHES, STEPS AND PLATFORMS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLAB: 3,500 PSI

ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 1.5 TONS PER SQUARE FOOT. (IF ORGANIC MATERIAL IS ENCOUNTERED, REMOVE AND DISPOSE OF ALL MATERIAL AND FILL REMAINING VOID WITH SAND)

ALL FOOTINGS TO SIT A MIN. 3'-0" BELOW GRADE ON UNDISTURBED SOIL OR SOLID ROCK.

STEP FOOTINGS TO BE A RATIO OF 1 VERTICAL TO 2 HORIZONTAL.

UNLESS OTHERWISE NOTED, ALL SLABS ON GROUND SHALL BE 4" THICK, REINFORCED WITH 6X6-W1.4XW1.4 W.W.F. PLACED IN ACCORDANCE WITH ACI

BACK FILLING AGAINST FOUNDATION WALLS SHALL NOT BE DONE UNTIL CONCRETE HAS ATTAINED SUFFICIENT STRENGTH AND WALLS ARE PROPERLY SHORED OR BRACED.

MINIMUM 8" BETWEEN FINISH GRADE AND TOP OF FOUNDATION WALL.
FINISH GRADES TO SLOPE AWAY FROM BUILDING FOUNDATION

STEEL:

ALL STRUCTURAL STEEL BEAM FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH THE LATEST SPECIFICATIONS FOR A-992 STEEL / STRUCTURAL PIPE SHALL BE A53 TYPE E

ALL STEEL BOLTED CONNECTIONS SHALL CONFORM TO ASTM A325 / ALL WELDING SHALL COMPLY WITH AWS D1.1 WITH E70XX ELECTRODES

ALL REINFORCED BARS SHALL COMPLY TO A.S.T.M. A-615 GRADE 60

WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A-185

CARPENTRY:

ALL FRAMING LUMBER TO BE DOUGLAS FIR #2 (FB 1050)
ALL LVL'S TO BE 2.0E BY TRUS JOIST OR APPROVED EQ. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

G.C. TO PROVIDE LUMBER CERTIFICATION DATA AS PER NYSBC UPDATE AND REVISION TITLE 19 PART 1220.2. CONTRACTOR SHALL PROVIDE STRUCTURAL LUMBER CERTIFICATION IN WRITING FROM THE LUMBER YARD FROM WHICH THE LUMBER IS PURCHASED, THAT THE QUALITY AND SAFE WORKING STRESS OF SUCH LUMBER ARE EQUAL TO OR EXCEED THE SPECIFIED GRADE WITHIN CONTRACTED DRAWINGS. THIS REQUIREMENT IS ONLY REQUIRED IF CONSTRUCTED LUMBER IS NOT PHYSICALLY MARKED WITH APPROPRIATE GRADE STAMP.

PROVIDE FLASHING AT ALL ROOF/ WALL JUNCTURES, ROOF INTERSECTIONS, VALLEYS AS REQUIRED, CAPS AT FLAT/ PITCHES ROOF INTERSECTIONS, CHIMNEYS, EXHAUST CAPS, GRILLES, STACKS, LEDGERS, WINDOW HEADS, DOORS, AND ALL OTHER APPLICABLE AREAS AS PER GENERALLY ACCEPTED STANDARDS.

SHEATHING:

1/2" CDX PLYWOOD ON ALL EXTERIOR WALLS. 5/8" CDX PLYWOOD OVER ENTIRE ROOF. 3/4" ADVANTECH PLYWOOD SUBFLOOR GLUED & SCREWED THROUGHOUT

WALLBOARD:

1/2" GYPSUM WALL BOARD ON ALL INTERIOR WALLS.
1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON ALL WALLS & CEILINGS IN ALL BATHROOMS AND GROUND FLOOR LEVEL WALLS (U.O.N.).
1/2" CEMENT BOARD ON ALL WALLS & CEILINGS AT ALL SHOWERS & BATH TUBS.

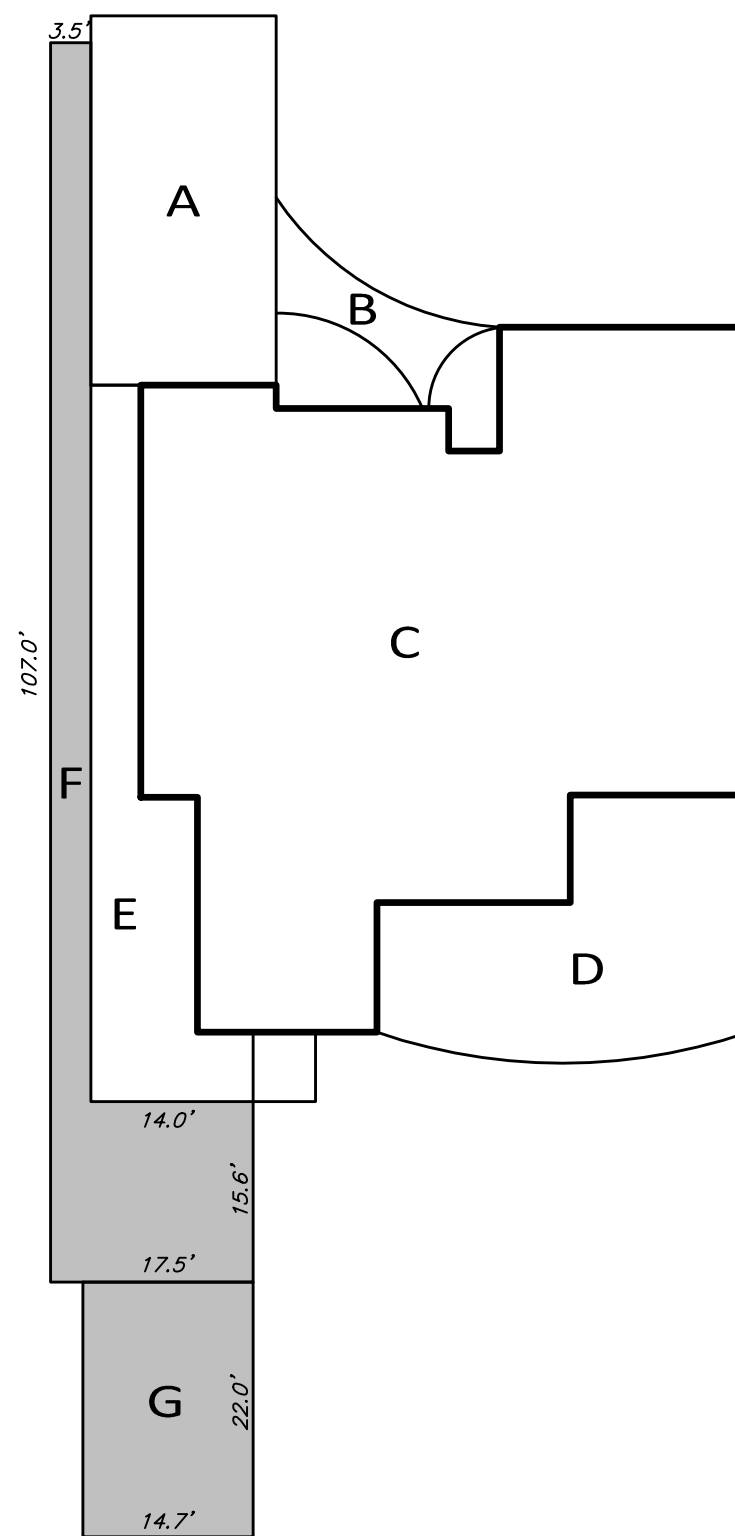
INSULATION:

ALL EXISTING AREAS WITH EXPOSED FRAMING CAVITY MUST COMPLY W/ THE PRESCRIPTIVE INSULATION REQUIREMENTS OF THE 2020 NYS CODE TABLE N1102.1.2

VILLAGE OF THOMASTON - RESIDENCE R-8				
10 GRACE COURT NORTH, GREAT NECK NY 11021				
SECTION:	BLOCK:	LOTS:		
203-26 A	333	10	CODE SEC.	PRIMARY STRUCTURE
203-26 A			REQUIRED / PERMITTED	EXISTING
203-26 B			PROPOSED	
515-38			MINIMUM LOT SIZE	8,000 SF.
			MINIMUM LOT WIDTH	10'
			MINIMUM LOT DEPTH	100'
			MAXIMUM FLOOR AREA (SEE DIAGRAM ON A21)	FIRST 100' = 7,000 SF. BEYOND 100' = 213 SF. X 20% = 42,600 SF. TOTAL: 49,600 SF.
203-27			MAXIMUM LOT COVERAGE	25% (2,434.25 SF.)
203-28 A			REQUIRED FRONT YARD	25 MIN.
203-28 B			REQUIRED REAR YARD	25' + 1/2 EXCESS OF 100' 44.55'
203-28 C			REQUIRED SIDE YARD	10 MIN.
			REQUIRED AGGREGATE	30'
203-29			MAXIMUM HEIGHT	30.0'
203-104 B			MAXIMUM HEIGHT	16.0'
203-104 B			REQUIRED YARDS	3.0'
203-125 B			2 CAR GARAGE	1

CODE SEC.	ACCESSORY STRUCTURE	REQUIRED / PERMITTED	EXISTING	PROPOSED
203-104 B	MAXIMUM HEIGHT	16.0'	NA	GARAGE 13.7'
203-104 B	REQUIRED YARDS	3.0'	NA	GARAGE 3.0' x 10'
203-125 B	2 CAR GARAGE	1	1	1.5 **

** REQUIRE BZA



1 SITE PLAN

ALL INFORMATION BASED ON SURVEY PREPARED BY SOUTHERN COUNTIES MAPPING SURVEYED ON: AUGUST 12, 2020 SCALE: 1:20

PROPOSED TOTAL LOT IMPERVIOUS AREA:

LOT AREA: 9,737 SF

EXISTING:

- A. BRICK PAVED DRIVEWAY
- B. FRONT BRICK PAVERS
- C. HOUSE
- D. REAR BRICK PAVERS
- E. CONCRETE WALK

PROPOSED:

- F. NEW PAVED DRIVEWAY = 592.5 SF
- G. 1 1/2 CAR GARAGE = 323.4 SF
- TOTAL: 915.9 SF

DRYWELL CALC.

IMPERVIOUS AREA: 915.9 SF

$$V_{REQ} = A \times 4/12$$

$$V_{REQ} = 915.9 \times .33 = 302.25 \text{ CF}$$

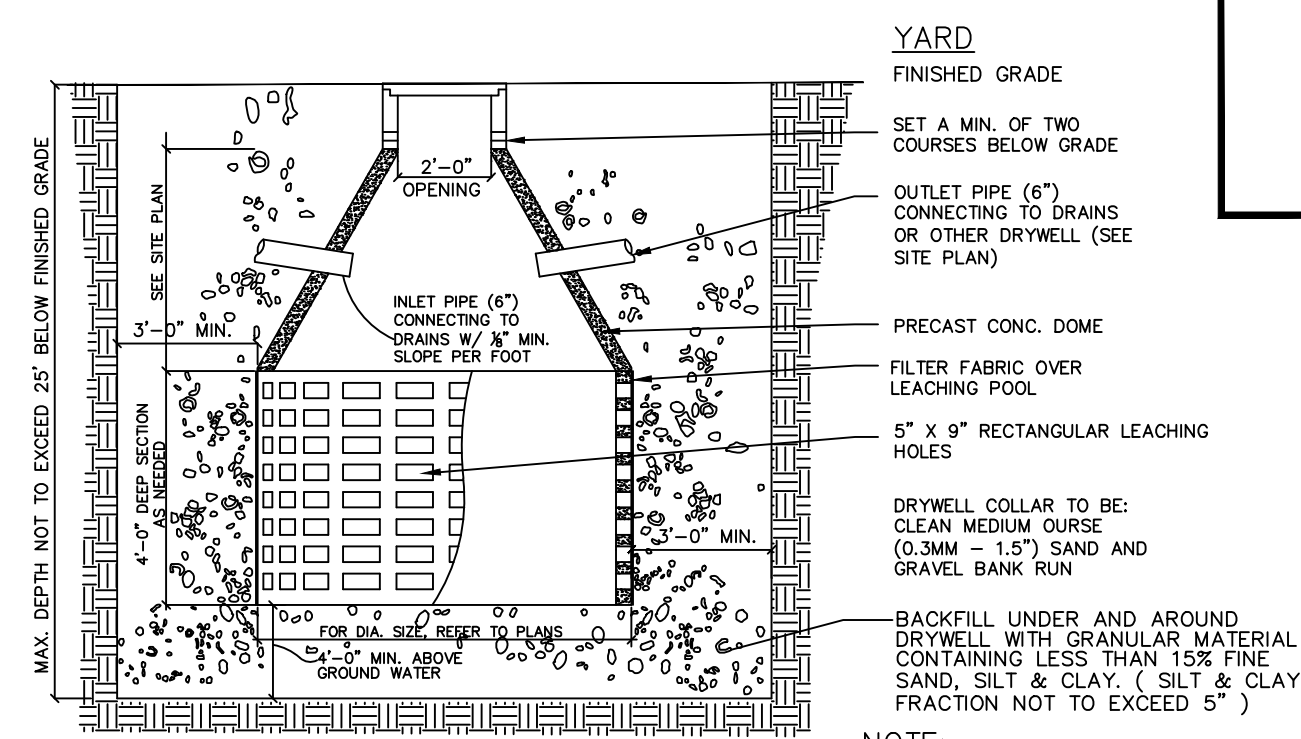
(DESIGNED FOR 4" RAINFALL)

$$V_{REQ} = H \times \pi R^2$$

$$H_{REQ} = 302.25 \text{ CF} / 3.14(4)^2$$

$$H_{REQ} = 6.02 \text{ FEET}$$

$$H_{PROV} = 1 @ 8' \text{ @ } 6'-0" \text{ DEEP W/DOME}$$



TYPICAL DRYWELL DETAIL

NOT TO SCALE

PROJECT INFO

SACHAR RESIDENCE

10 GRACE COURT NORTH
GREAT NECK, 11021

VILLAGE OF THOMASTON

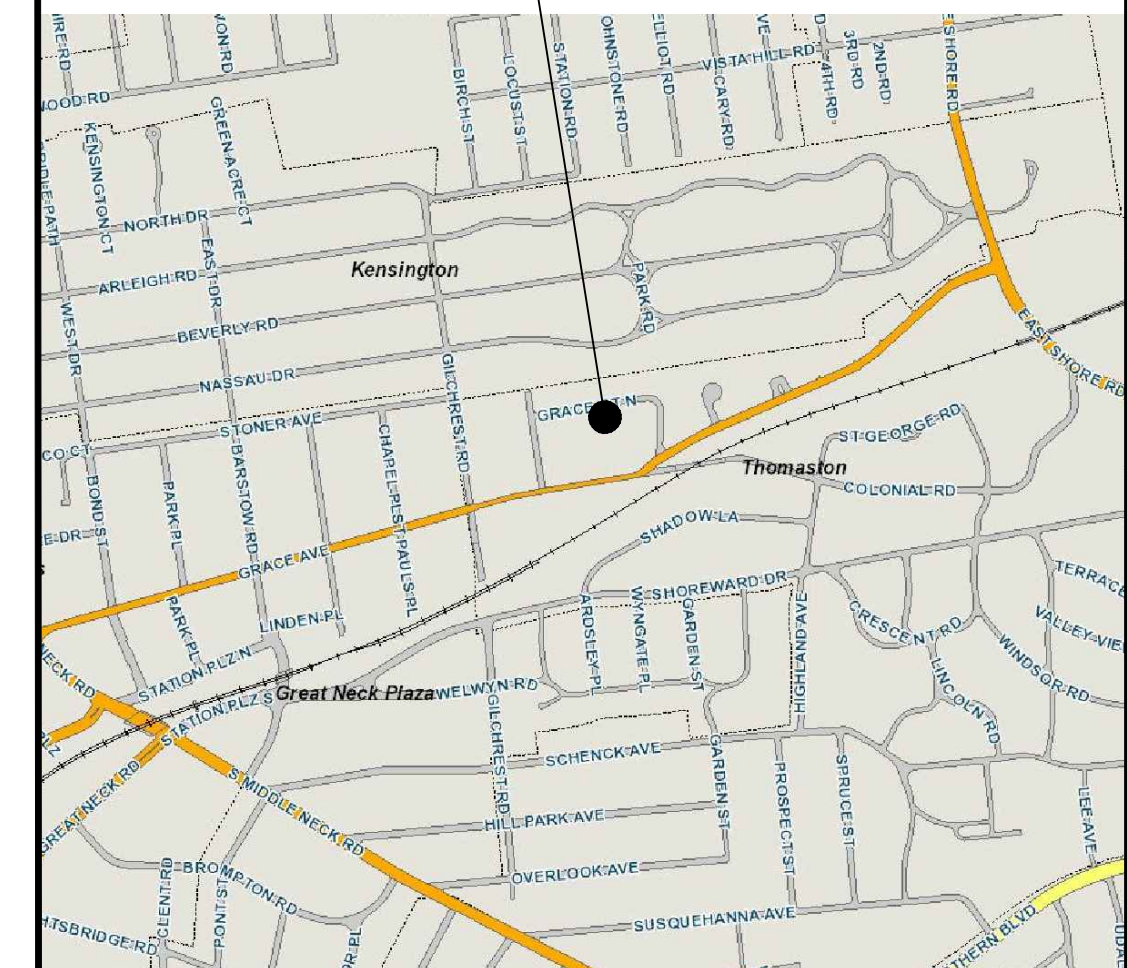
DISTRICT: RESIDENCE R-8

SBL: 2 - 333 - 10

SCOPE OF WORK NOTES

1. MAINTAIN CONVERTED GARAGE TO LIVING SPACE
2. EXTEND ASPHALT DRIVEWAY IN SIDE AND REAR YARD
3. NEW PROPOSED DETACHED GARAGE.
4. MAINTAIN FENCE AS PER PERMIT #131
5. MAINTAIN DRY WELL AS PER PERMIT TO INSTALL - APPROVED 6/2/2005
6. MAINTAIN KITCHEN & EXTENSION AS PER PERMIT #801

AERIAL VIEW

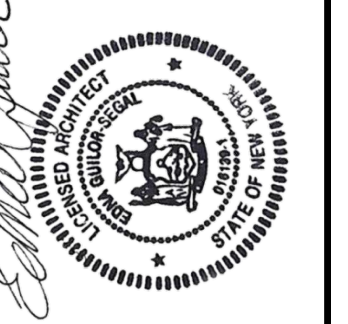


DRAWINGS LIST

- A1.0 GENERAL PROJECT DATA / PLOT PLAN
- A2.0 EXISTING CELLAR PLAN
- A2.1 EXISTING FIRST FLOOR PLAN
- A2.2 EXISTING SECOND FLOOR PLAN
- A3.0 NORTH AND WEST ELEVATIONS
- A3.1 SOUTH AND EAST ELEVATIONS
- A3.2 GARAGE PLAN/ELEVATION/SECTION
- B1.0 FRAMING CONNECTIONS
- B2.0 STRAPPING CONNECTIONS

GUILOR ARCHITECTS

ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN
17 RAVINE RD., GREAT NECK, N Y 11023
516-482-6777



NO.	DATE:	DESCRIPTION:
1	08/25/21	AS DOB PER COMMENTS
2	09/15/21	AS DOB PER COMMENTS
3	10/21/21	AS DOB PER COMMENTS
4	04/20/22	AS DOB PER COMMENTS

PROJECT TITLE: SACHAR RESIDENCE

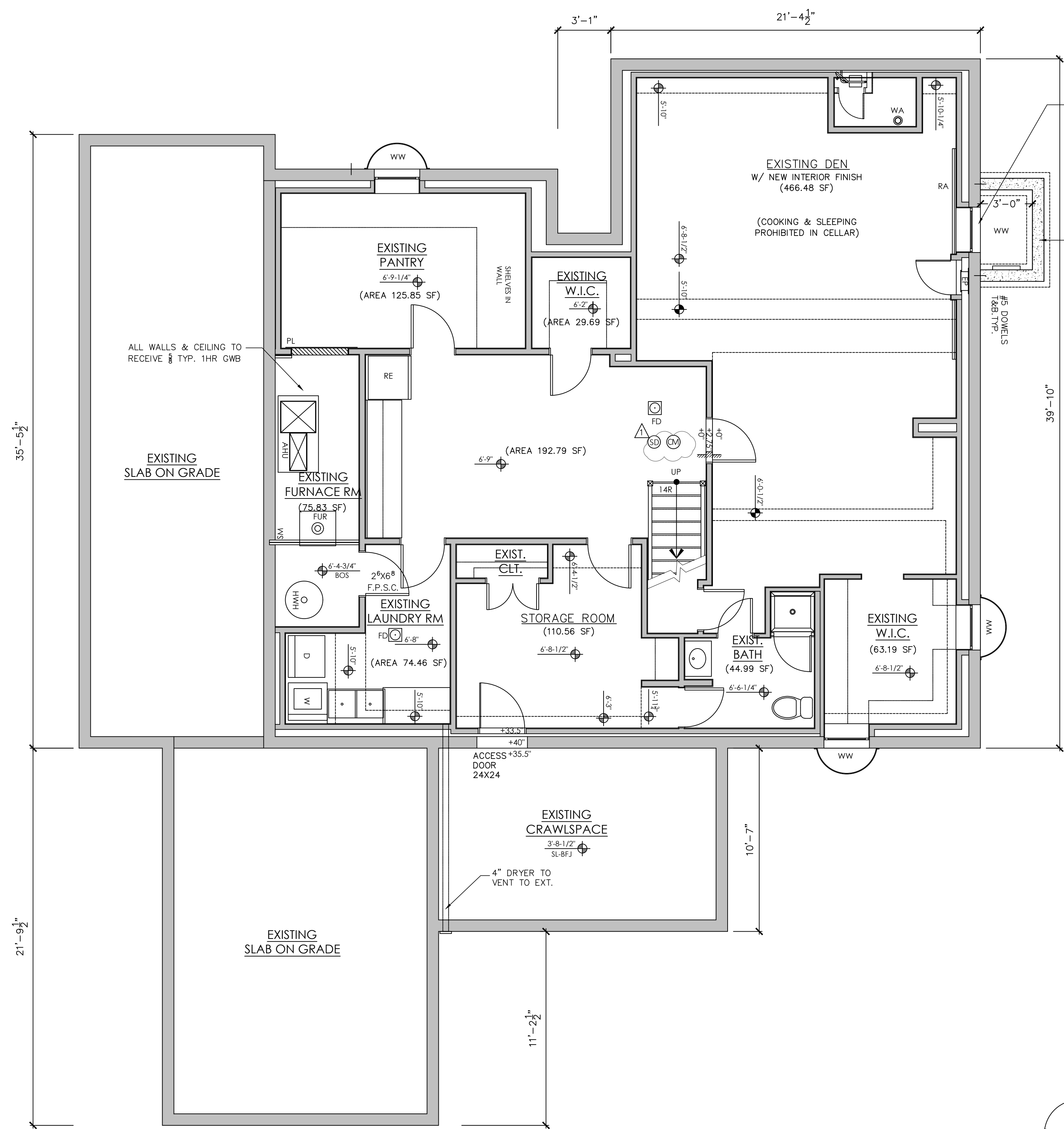
LOCATION: 10 GRACE COURT NORTH GREAT NECK NY 11021

SHEET TITLE: GENERAL NOTES/ PLOT PLAN & ZONING

SHEET NO.

A1.0

NOTICE: THIS DRAWING HAS BEEN PREPARED FOR THE SPECIFIC PROJECT INDICATED, AND IS AN INSTRUMENT OF SERVICE, COPYRIGHTED BY, AND THE SOLE PROPERTY OF, EDNA GUILOR, AIA. THIS DRAWING MAY NOT BE COPIED OR USED, IN WHOLE OR IN PART, BY ANY PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF EDNA GUILOR, AIA. INFRINGEMENTS OR ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSES WILL BE PROSECUTED TO THE FULL EXTENT OF CRIMINAL AND CIVIL LAW.



1 EXISTING CELLAR PLAN
SCALE: 1/4" = 1'-0"

NEW PROPOSED 2'x3' IN-SWING CASEMENT (EGRESS)
NOTE:
• MIN. EGRESS WINDOW SILL IN CELLAR FLOOR SHALL BE AT 42" ABOVE FINISHED CELLAR FLOOR.
• 2'-0" MIN. DIMENSION & 5.7 SF MIN. OPENING

LIGHTING AND VENTILATION REQUIREMENTS AS PER R303.1 OF THE 2015 RESIDENTIAL CODE OF NEW YORK STATE

REQUIRED 4% VENTILATION; 8% GLAZING

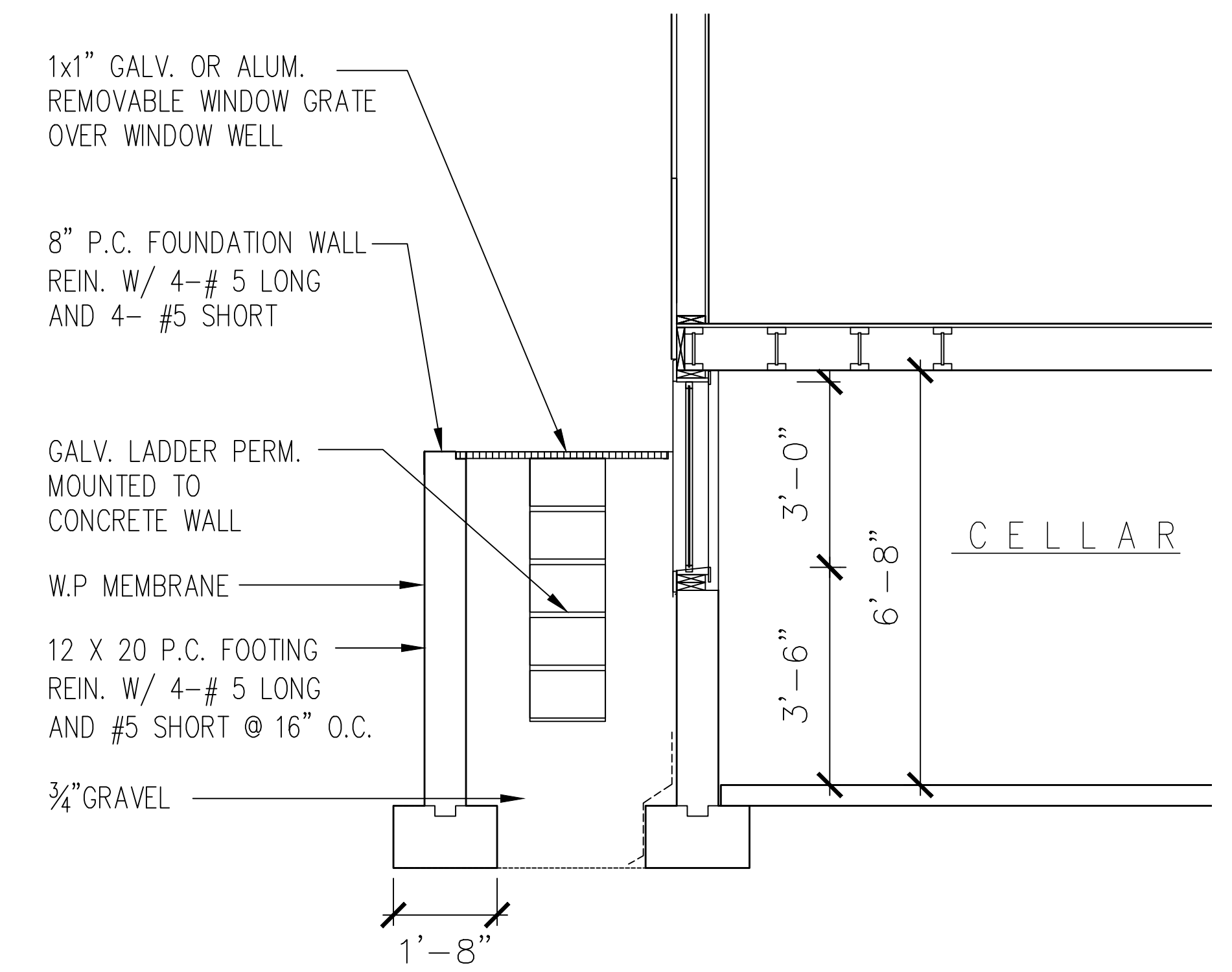
REQUIREMENT WAIVED AS PER NEW YORK STATE RESIDENTIAL CODE SECTION R303.1 EXCEPTION 1 & EXCEPTION 2 (SEE NOTES 1&2 BELOW)

NOTE:
1. CENTRAL AIR VENT PROVIDING MECH. VENTILATION OF 50-240 CFM FOR 1800 S.F. AS PER 303.1 EXCEPTION #1 (CELLAR ONLY 359.2 S.F.)
2. FINISHED CELLAR TO BE PROVIDED WITH ARTIFICIAL LIGHT PROVIDING AN AVERAGE 6-FOOTCANDLES @ 30" A.F.F. IN CELLAR THROUGHOUT.

ONE PERMANENT OPENING VENTILATION CALCULATION AS PER G2407.6.2 OF THE 2015 RESIDENTIAL CODE OF NEW YORK STATE

BOILER - 225,000 BTU
HOT WATER HEATER - 50,000 BTU

V_{REQ.} = VENT SIZE REQUIRED
V_{REQ.} = 275,000 TOTAL BTU /
= 3,000 BTU/h
= 91.6 Sq. Inches REQ'D.
V_{PROV.} = VENT SIZE PROVIDED
V_{PROV.} = 21.5" X 10" (215.0 Sq. Inches)
= 215.0 Sq. Inches > 91.6 Sq. Inches
AND THEREFORE OK



2 SECTION AT EGRESS WINDOW
SCALE: 1/2" = 1'-0"

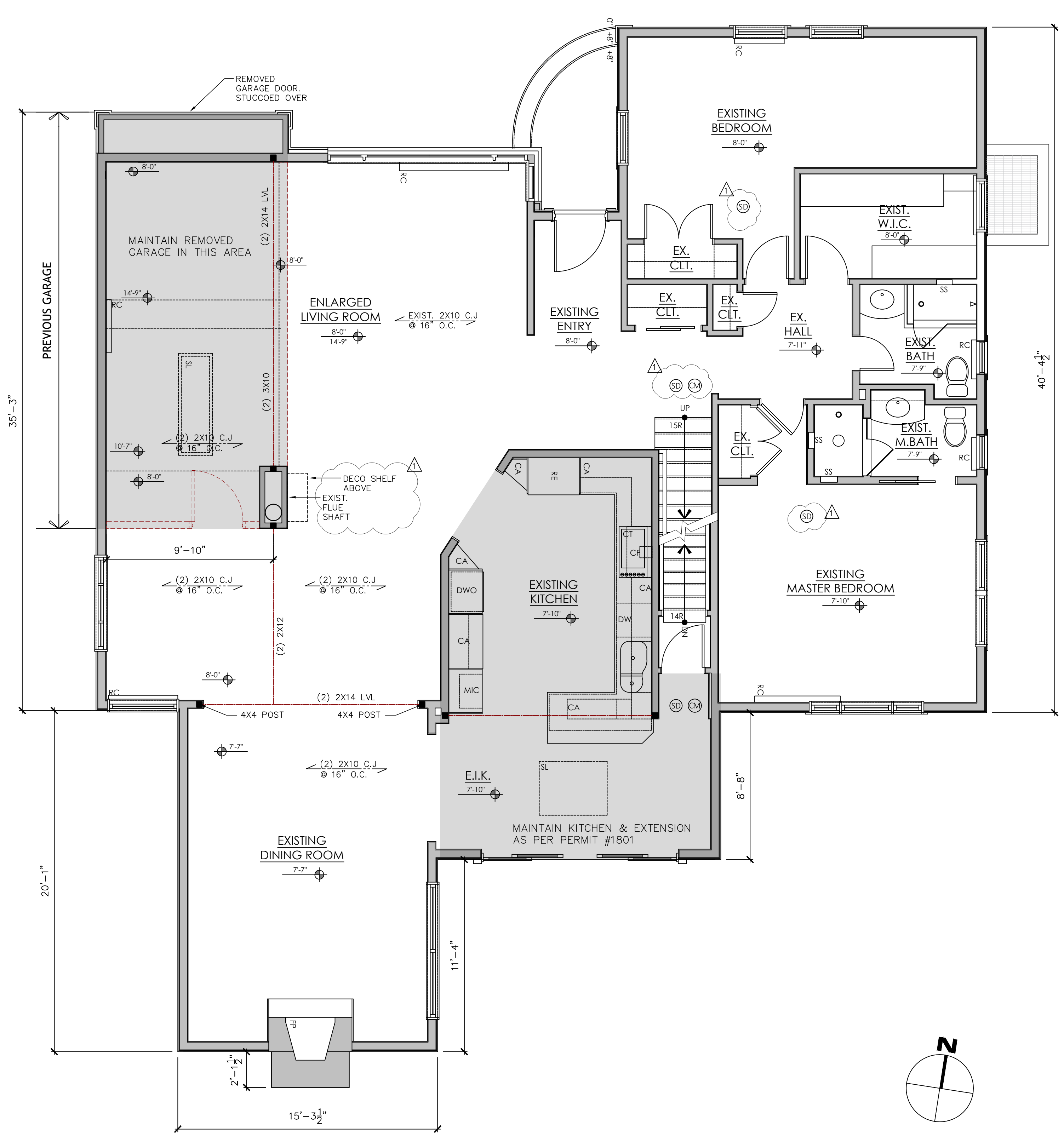
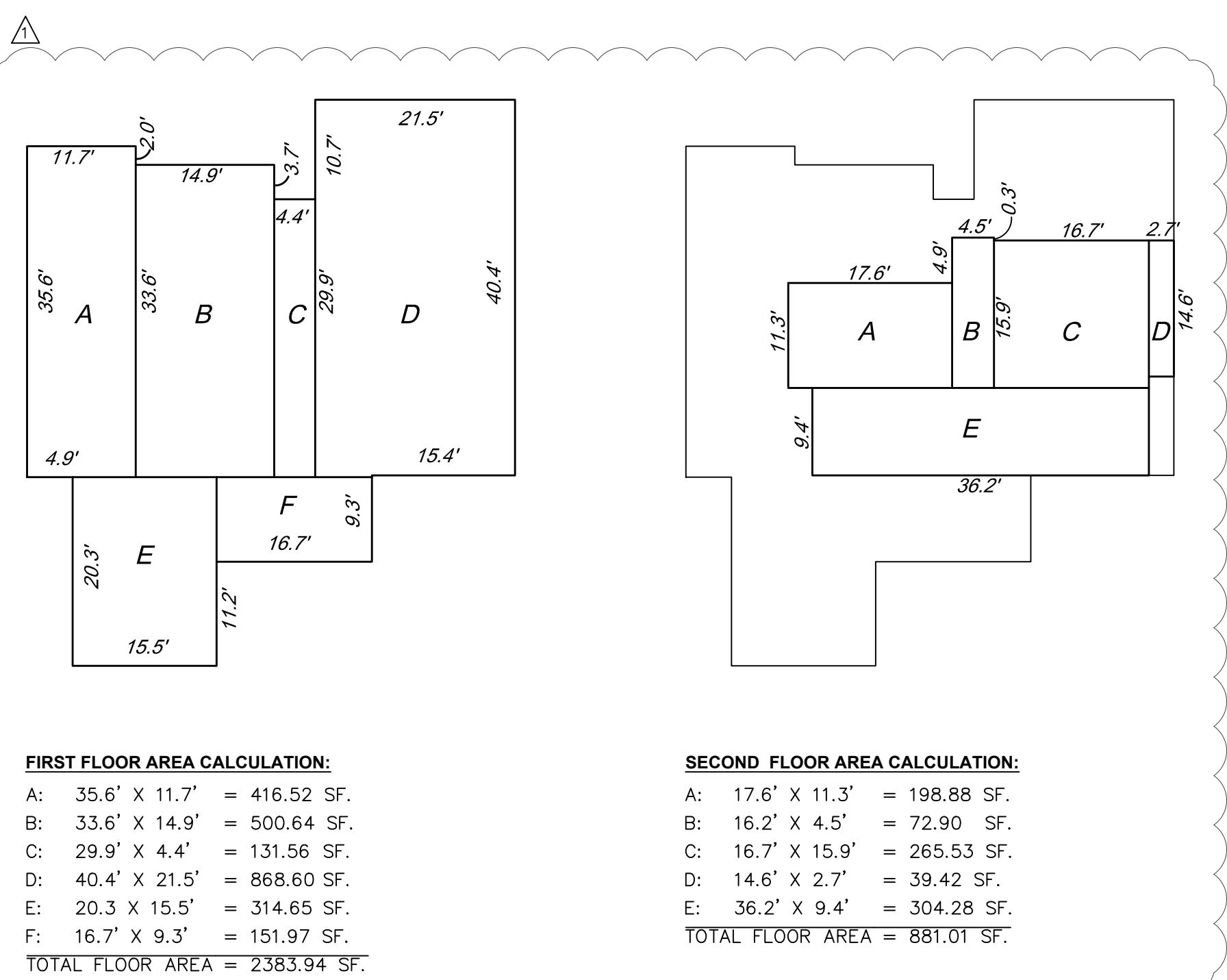
GUILOR ARCHITECTS
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN
17 RAVINE RD., GREAT NECK, N Y 11023
5 1 6 - 4 8 2 - 6 7 7 7



PROJECT TITLE	SACHAR RESIDENCE
LOCATION	10 GRACE COURT NORTH GREAT NECK, NY 11021
SHEET TITLE	CELLAR PLAN
NO.	8.02.21
DATE	09.15.21
DOB APP.	10.27.21
AS PER COMMENTS	

SHEET NO.	A2.0
2 OF 9	

NOTICE: THIS DRAWING HAS BEEN PREPARED FOR THE SPECIFIC PROJECT INDICATED, AND IS AN INSTRUMENT OF SERVICE, COPYRIGHTED BY, AND THE SOLE PROPERTY OF, EDNA GUILOR, AIA. THIS DRAWING MAY NOT BE COPIED OR USED, IN WHOLE OR IN PART, BY ANY PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF EDNA GUILOR, AIA. INFRINGEMENTS OR ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSES WILL BE PROSECUTED TO THE FULL EXTENT OF CRIMINAL AND CIVIL LAW.



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- (CM) CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP (HARDWIRED AND INTERCONNECTED)
- (SD) SMOKE DETECTOR W/ BATTERY BACK-UP (HARDWIRED AND INTERCONNECTED)

LEGEND

- POST ABOVE
- 3 1/2" X 3 1/2" PSL COL. U.O.N.
- 3 1/2" X 5 1/4" PSL COL. U.O.N.
- SIMPSON HD-5 OR EQ. HOLD DOWN
- HEADER OR GIRDER
- EXISTING 2"x4" WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED
- ▨ NEW D.F. WALL: EXTERIOR WALL 2"x6" @ 16" O.C. INTERIOR WALL 2"x4" @ 16" O.C. G.W.B ON BOTH SIDES
- ▨ INTERIOR WALL 2"x4" W/ 1/8" TYP "X" G.W.B ON BOTH SIDES 1 HR RATED
- ▨ NEW 12" CONCRETE WALL W/ 6" REVERSE BRICK SHELF

HEADER SCHEDULE

NOTE: FOR NEW DOOR & WINDOW HEADERS NOT INDICATED ON PLAN

SIZE OF OPENING	REQUIRED MEMBER
UP TO 3'-6"	(2) 2" x 8"
UP TO 6'-0"	(2) 2" x 10"
UP TO 8'-0"	(2) 2" x 12"

FOR ALL HEADER POST NOT SPECIFIED:
USE (2) 2"x4" POST FOR OPENINGS < 6'-0"
USE (3) 2"x4" POST FOR OPENINGS > 6'-0"

- NOTES:** (FOR NEW CONSTRUCTION)
- PROVIDE (2) JACK STUDS AT ALL OPENING HEADERS UNLESS OTHERWISE NOTED.
 - ALL GLASS AT SHOWER AND BATHTUB ENCLOSURES AND WINDOWS TO BE TEMPERED AS PER R.308.4 OF THE NYS RES. CODE.
 - ALL HABITABLE SPACES MEET OF EXCEED 8% LIGHT AND 4% CLEAR VENTILATION AREA.
 - ASSUMED 1.5 TSP SOIL BEARING CAPACITY V.I.F.
 - USE HEAVY DUTY HANGERS FOR ENGINEERED LUMBER
 - PROVIDE SOLID BLOCKING BETWEEN JOISTS UNDER ALL WALLS ABOVE
 - PSL'S MAY BE SUBSTITUTED FOR LVLS OF SAME DEPTH TO ACHIEVE REQUIRED WIDTH
 - SEE ELECTRICAL PLANS FOR SMOKE AND CARBON DETECTOR LOCATIONS
 - SEE DETAILS SHEETS FOR WOOD FRAMING, STRAPPING, CONCRETE, AND STEEL DETAILS
 - DOUBLE FLOOR JOIST UNDER WALLS PARALLEL ABOVE

NEW PARTITION NOTES:

- INTERIOR WALLS ARE TO BE 5/8" GYPSUM BOARD ON EACH SIDE OF STUD UNLESS NOTED OTHERWISE.
- PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON ALL WALLS & CEILINGS AT THE BASEMENT LEVEL.
- PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON WALLS & CEILINGS AT ALL BATHROOMS.
- PROVIDE 1/2" CEMENT BOARD ON WALLS & CEILINGS AT ALL SHOWERS AND BATH TUBS.
- PROVIDE 2"x6" STUDS AT ALL PLUMBING WALLS AND WALLS CONTAINING POCKET DOORS.
- SHEER WALLS TO BE 2X4 WITH 1/2" PLYWOOD ONE SIDE 8D NAILS 6" O/C EDGE AND 12" O/C FIELD

DOOR NOTES

- ALL INTERIOR DOORS STYLE AND FINISH AS PER INTERIOR DESIGNER. SEE PLAN FOR SIZE.
- ALL EXTERIOR DOORS TO BE 'ANDERSON 400 SERIES' INSWING WITH SCREENS. SEE PLANS FOR SIZE.
- ALL EXTERIOR DOORS TO HAVE ADVANCED E-LOW INSULATED GLASS.
- SHOP DRAWINGS TO BE PREPARED FOR APPROVAL PRIOR TO ORDERING.
- ALL DOOR SIZES TO BE FIELD VERIFIED WITH GENERAL CONTRACTOR.

INSULATION SCHEDULE

MIN. ZONE 4 REQUIREMENTS AS PER TABLE R402.1.2 OF 2020 IECC & N1102.1.2 OF 2020 IRC)

VAULTED CEILINGS	R-30 (20% OR 500 SF. MAX)
CEILINGS	R-49 (SEE NOTE BELOW)
EXTERIOR WALLS	R-20 OR R13 + R5(CONTINUOUS)
FLOOR	R-19

NOTE: CEILINGS WITH ATTIC SPACE AS PER R402.2.1 (N1102.2.1), INSTALLING R-38 OVER 100% OF CEILING AREA WHERE THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49

FIRE STOPPING AND FIRE BLOCKING

AS PER R302.11, FIREBLOCKING SHOULD BE PROVIDED IN WOOD FRAME CONSTRUCTION ALL OPENINGS AROUND VENT PIPES ECT. TO BE FIRE BLOCKED WITH AN APPROVED MATERIAL AS PER R302.11

FINISHES AND ISULATION

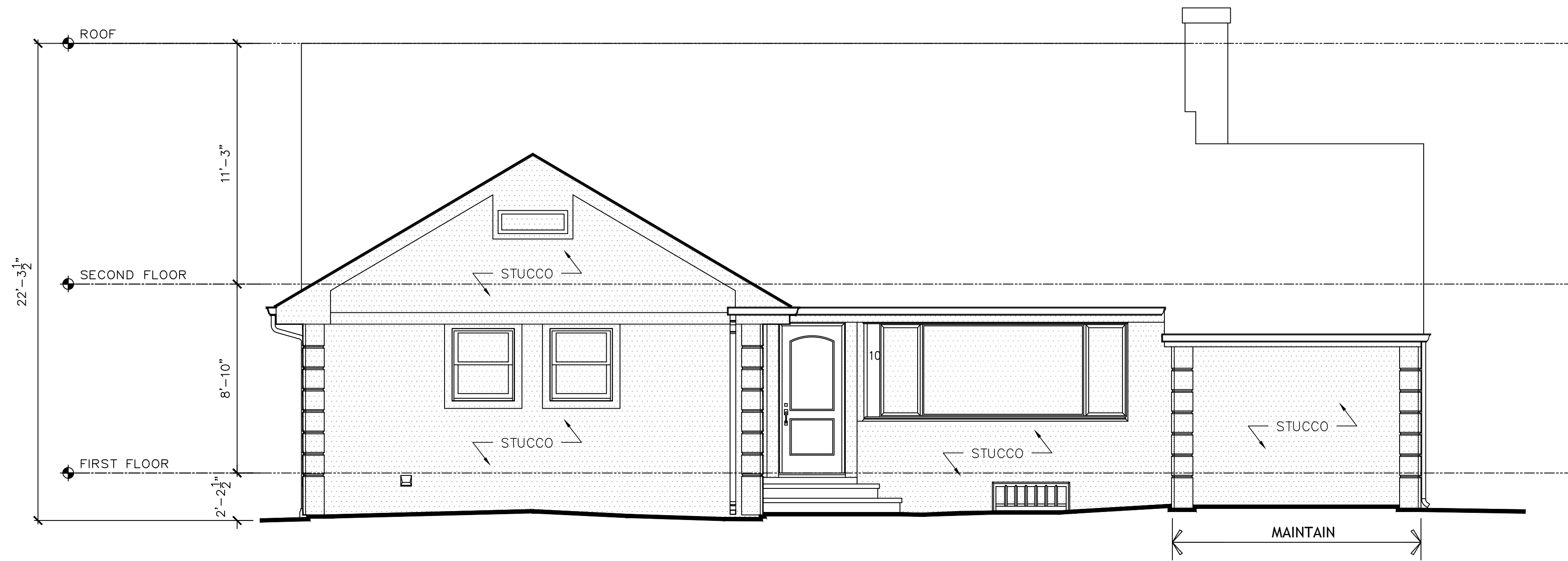
AS PER R309, FLAME SPREAD INDEX AND SMOKE DEVELOPED INDEX FOR WALL AND CEILING FINISHES SHALL NOT BE GREATER THAN 200 FOR EXCEPTIONS SEE 302.9.1

GUILOR ARCHITECTS
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN
17 RAVINE RD., GREAT NECK, N Y 11023
5 1 6 - 4 8 2 - 6 7 7 7

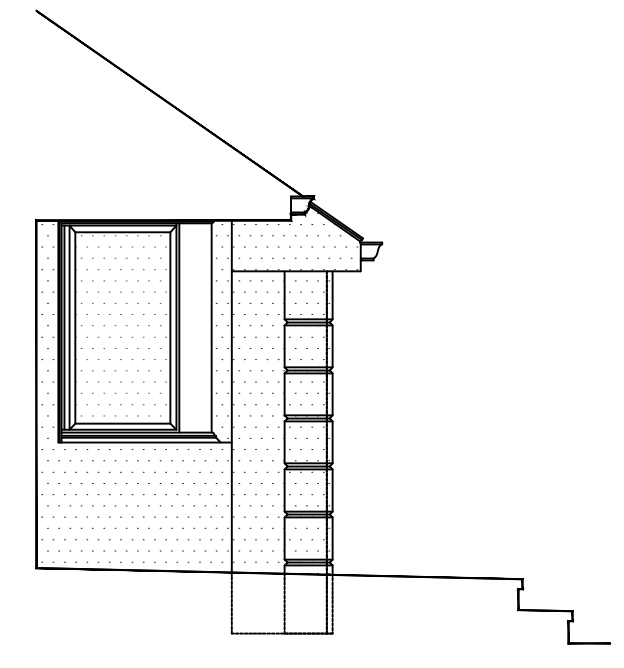


PROJECT TITLE	SACHAR RESIDENCE
LOCATION	10 GRACE COURT NORTH GREAT NECK, NY 11021
SHEET TITLE	FIRST FLOOR PLAN
DATE	8.02.21
NO.	09.15.21
DOB APP.	AS PER COMMENTS
DATE	10.27.21
SHEET NO.	A2.1
	3 OF 9

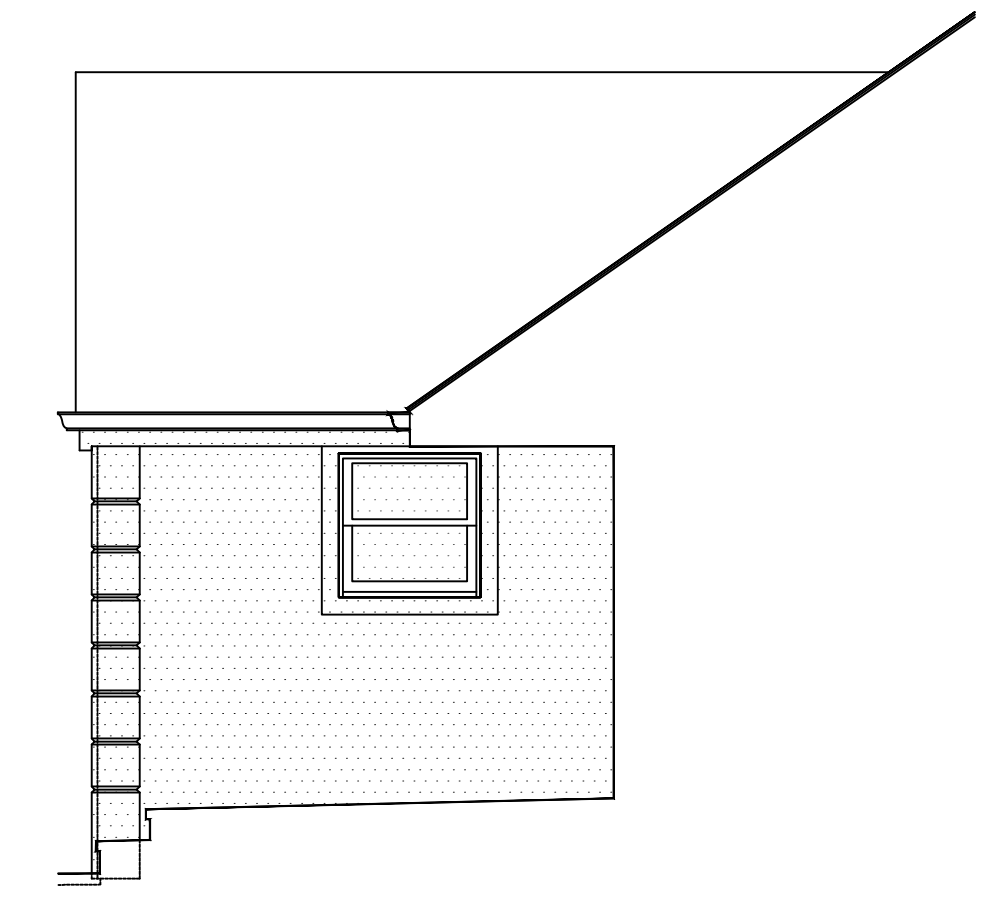
NOTICE: THIS DRAWING HAS BEEN PREPARED FOR THE SPECIFIC PROJECT INDICATED, AND IS AN INSTRUMENT OF SERVICE, COPYRIGHTED BY, AND THE SOLE PROPERTY OF, EDNA GUILOR, AIA. THIS DRAWING MAY NOT BE COPIED OR USED, IN WHOLE OR IN PART, BY ANY PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF EDNA GUILOR, AIA. INFRINGEMENTS OR ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSES WILL BE PROSECUTED TO THE FULL EXTENT OF CRIMINAL AND CIVIL LAW.



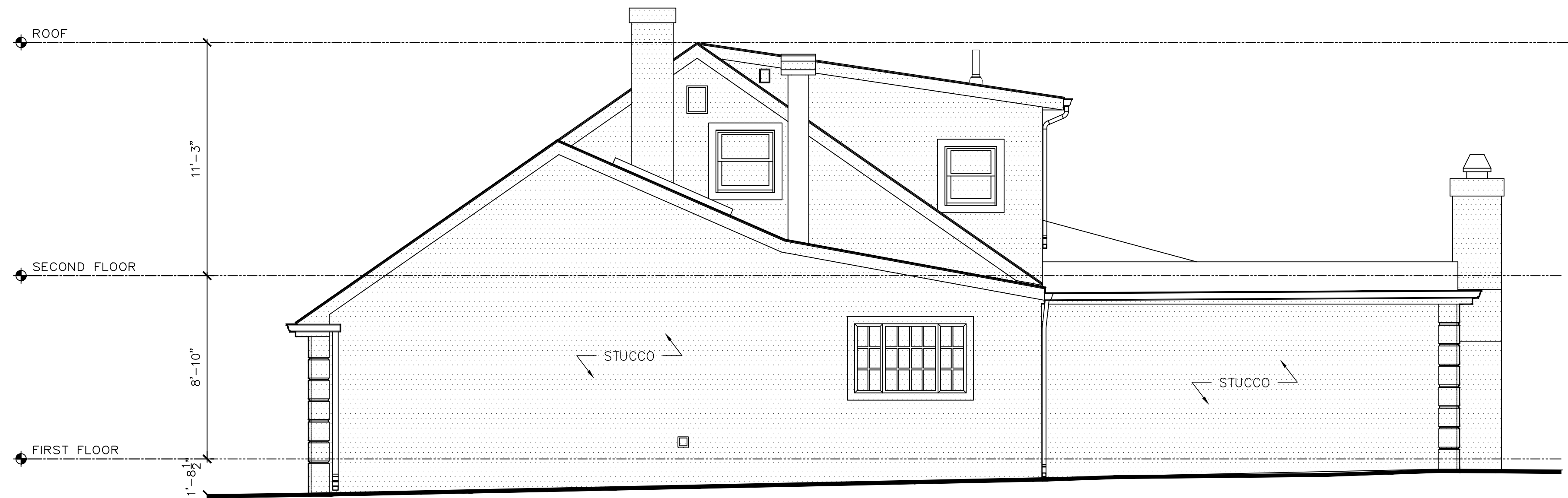
1 EXISTING NORTH ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



3 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION (RIGHT SIDE)
SCALE: 1/4" = 1'-0"

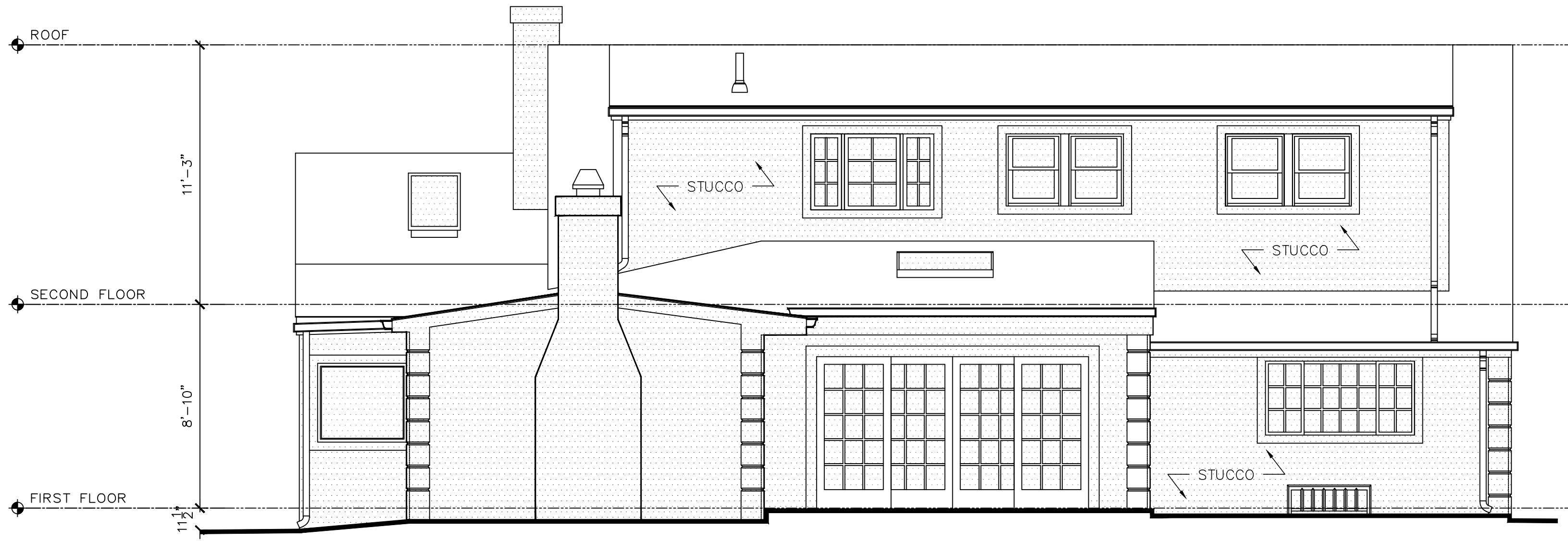
GUILOR ARCHITECTS
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN
17 RAVINE RD., GREAT NECK, N Y 11023
516-482-6777



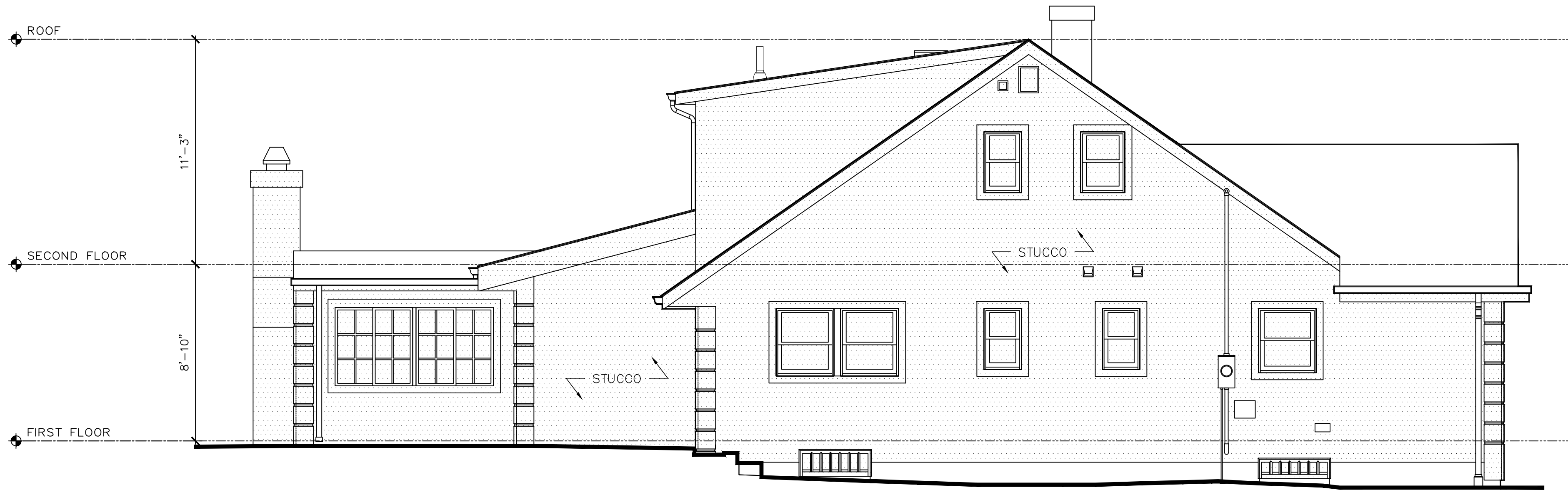
PROJECT TITLE	SACHAR RESIDENCE
LOCATION	10 GRACE COURT NORTH GREAT NECK, NY 11021
SHEET TITLE	ELEVATIONS
DATE:	8.02.21
NO.	09.15.21
DOB APP.	

SHEET NO.
A3.0
5 OF 9

NOTICE: THIS DRAWING HAS BEEN PREPARED FOR THE SPECIFIC PROJECT INDICATED, AND IS AN INSTRUMENT OF SERVICE, COPYRIGHTED BY, AND THE SOLE PROPERTY OF, EDNA GUILOR, AIA. THIS DRAWING MAY NOT BE COPIED OR USED, IN WHOLE OR IN PART, BY ANY PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF EDNA GUILOR, AIA. INFRINGEMENTS OR ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSES WILL BE PROSECUTED TO THE FULL EXTENT OF CRIMINAL AND CIVIL LAW.



1 EXISTING SOUTH ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



2 EXISTING EAST ELEVATION (LEFT SIDE)
SCALE: 1/4" = 1'-0"

GUILOR ARCHITECTS

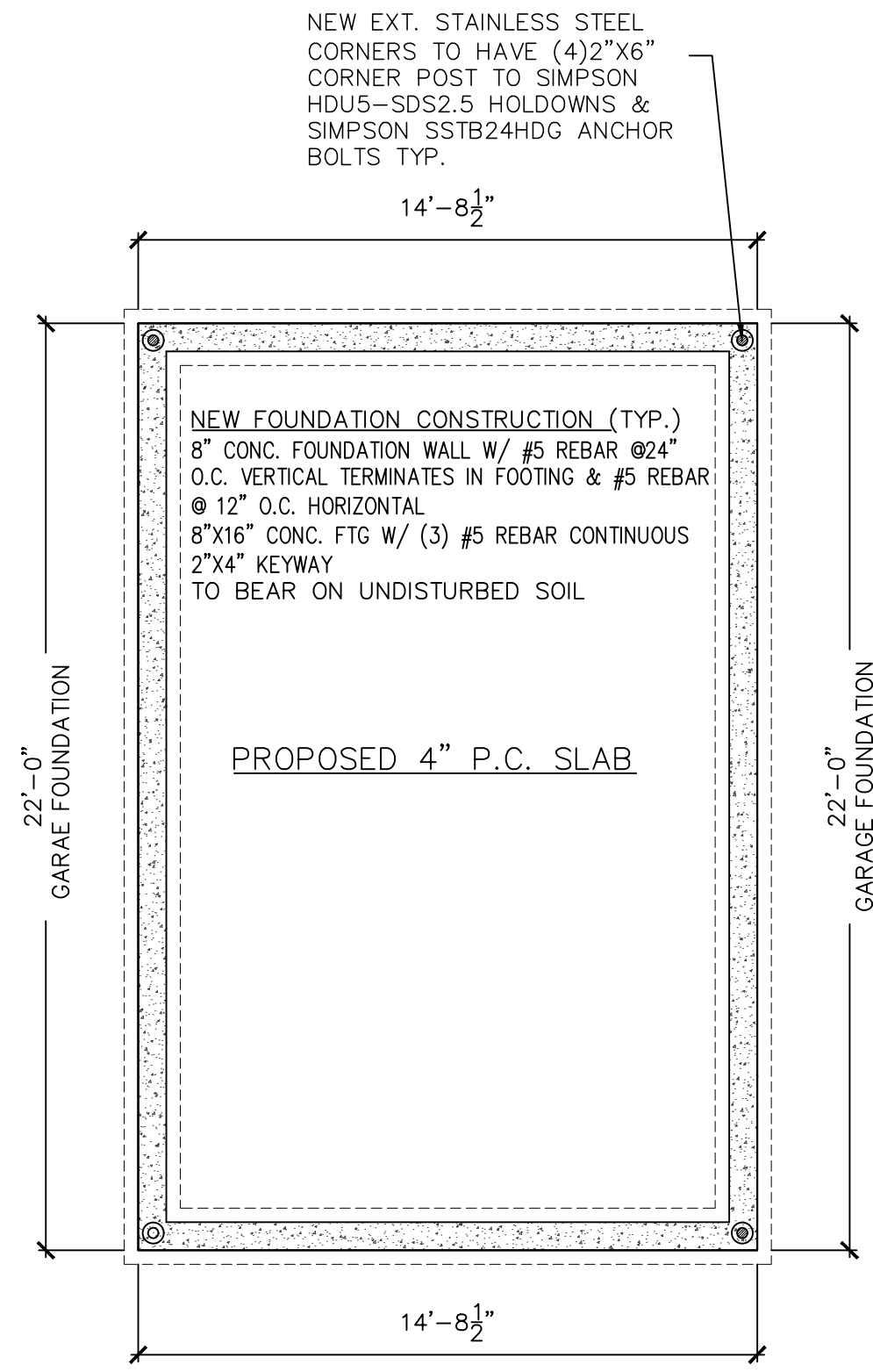
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN
17 RAVINE RD., GREAT NECK, N Y 11023
516-482-6777



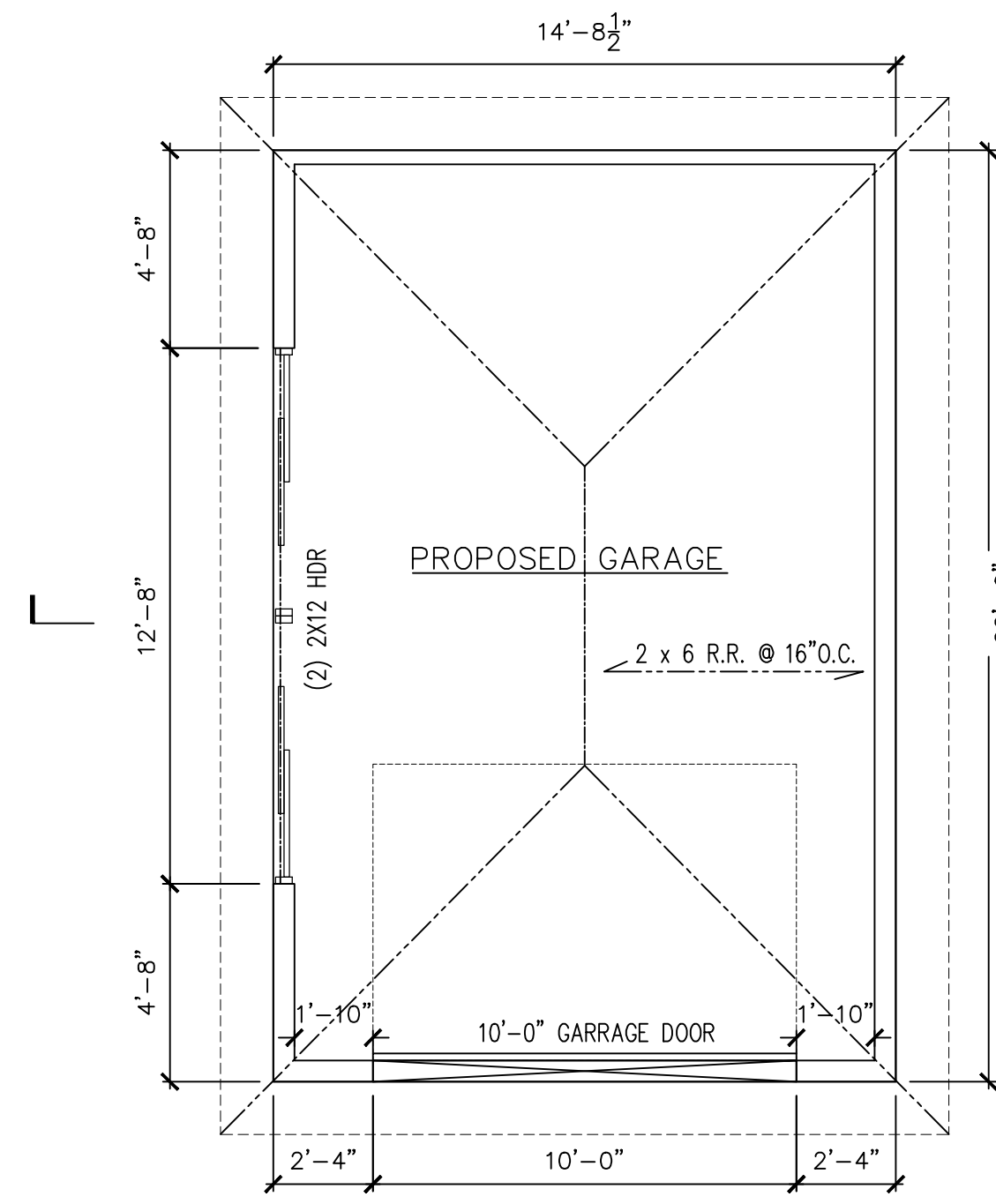
PROJECT TITLE	SACHAR RESIDENCE
LOCATION	10 GRACE COURT NORTH GREAT NECK, NY 11021
SHEET TITLE	ELEVATIONS
DATE:	NO.
8.02.21	8.02.21
09.15.21	09.15.21
DOB APP.	

SHEET NO.
A3.1
6 OF 9

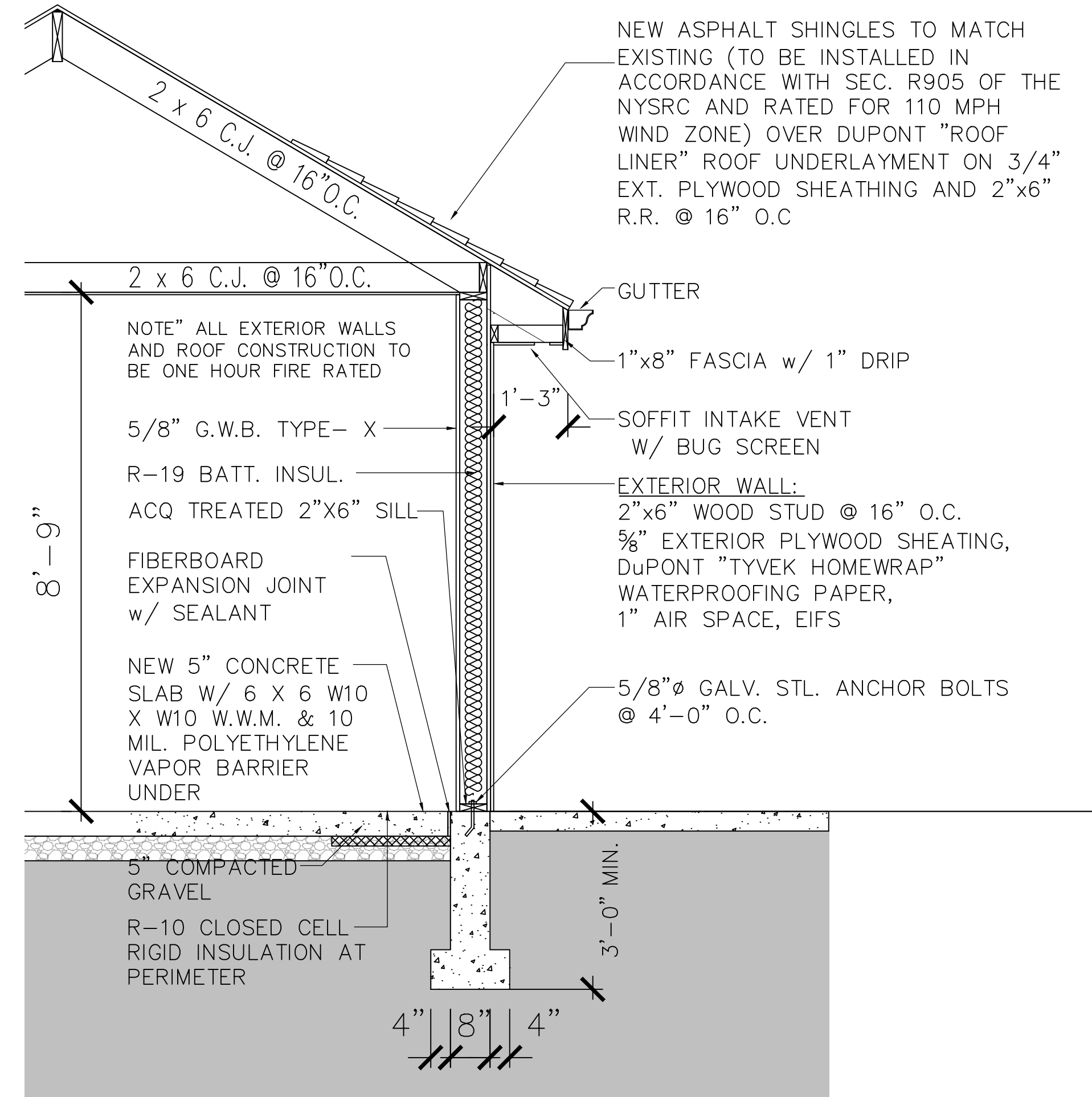
NOTICE: THIS DRAWING HAS BEEN PREPARED FOR THE SPECIFIC PROJECT INDICATED, AND IS AN INSTRUMENT OF SERVICE, COPYRIGHTED BY, AND THE SOLE PROPERTY OF, EDNA GUILOR, AIA. THIS DRAWING MAY NOT BE COPIED OR USED, IN WHOLE OR IN PART, BY ANY PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF EDNA GUILOR, AIA. INFRINGEMENTS OR ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSES WILL BE PROSECUTED TO THE FULL EXTENT OF CRIMINAL AND CIVIL LAW.



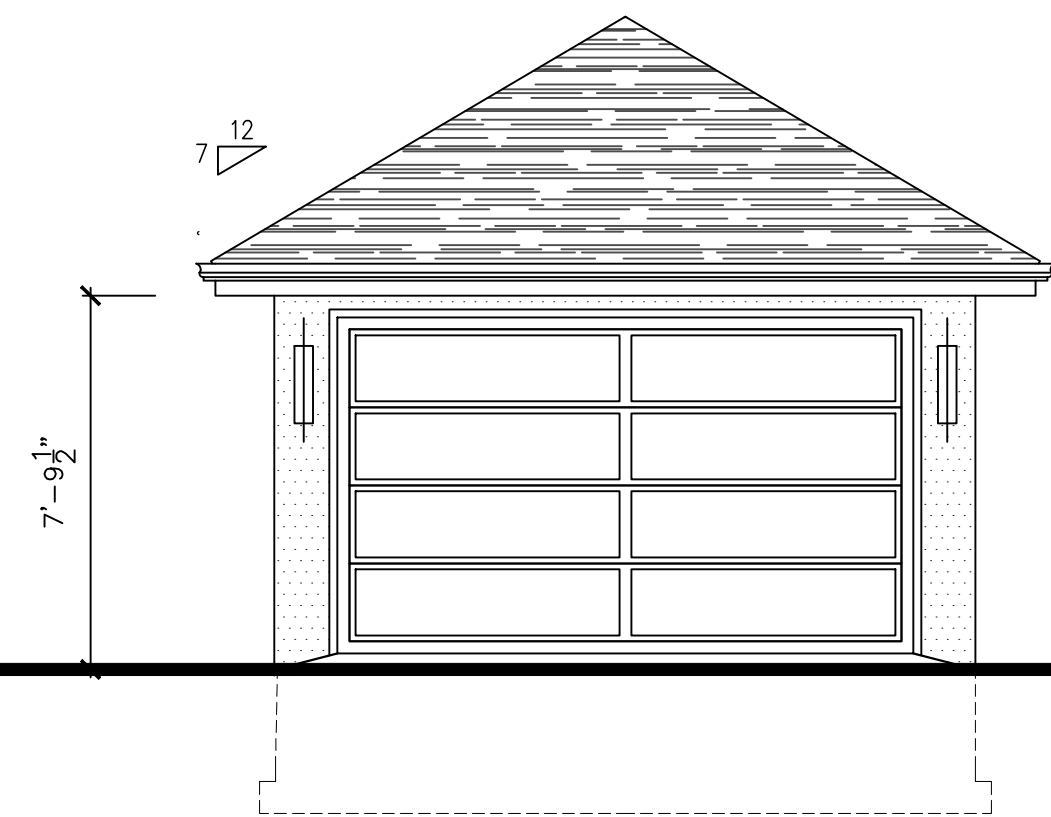
1 PROPOSED GARAGE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



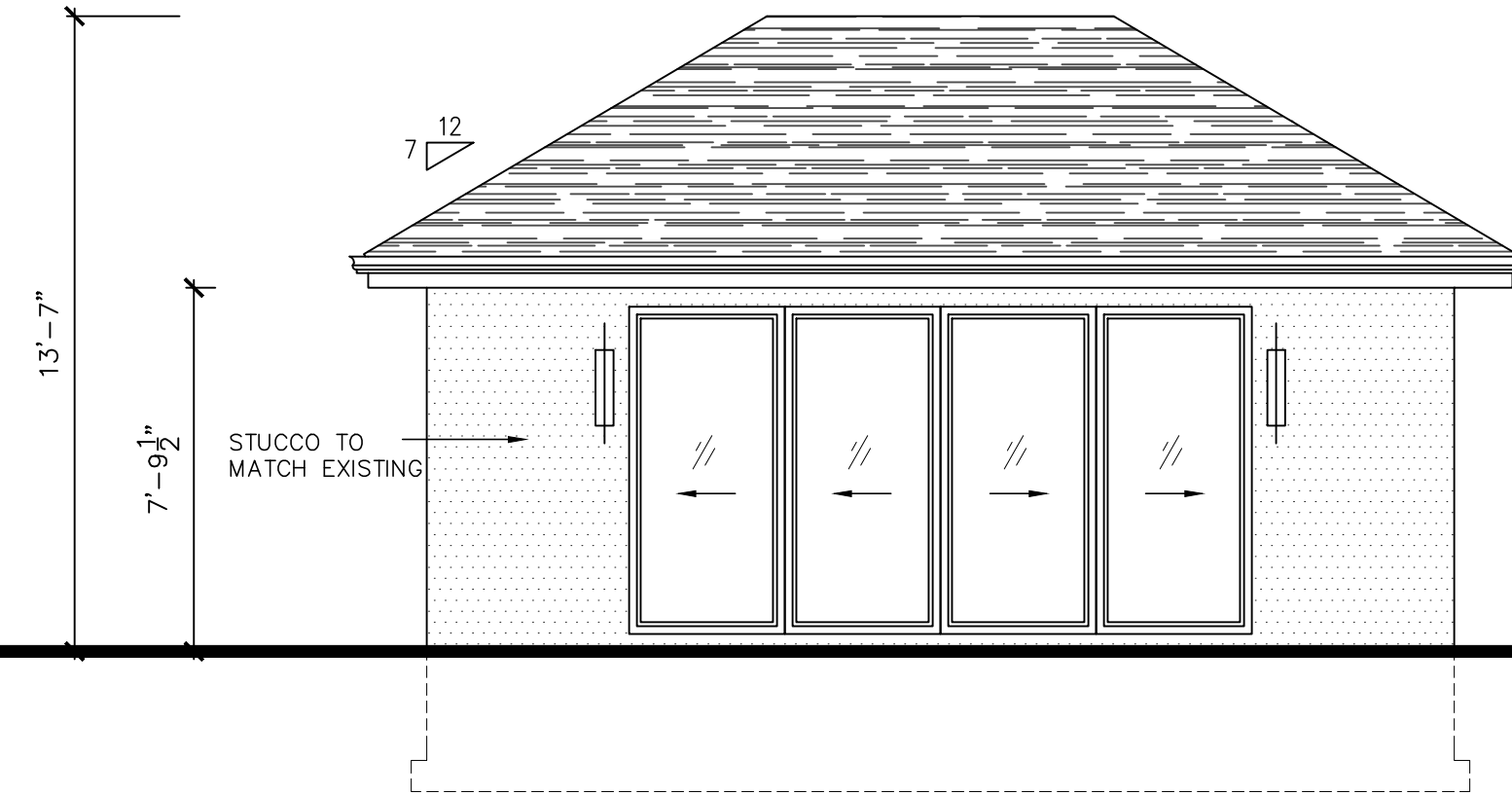
2 PROPOSED GARAGE PLAN
SCALE: 1/4" = 1'-0"



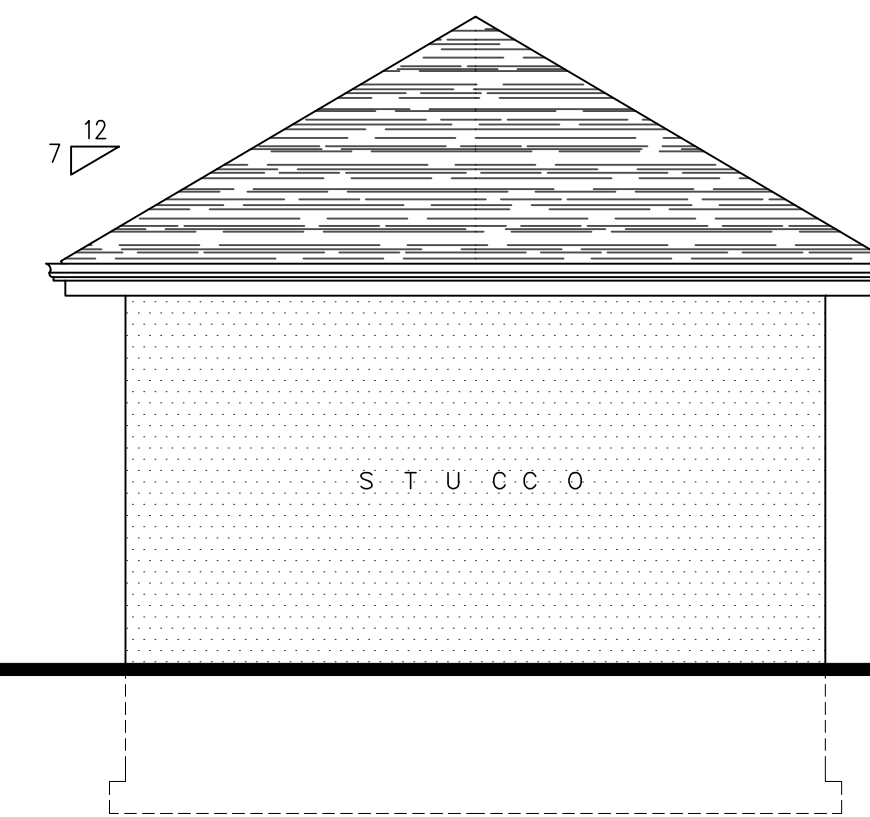
6 PROPOSED GARAGE SECTION
SCALE: N.T.S.



3 PROPOSED GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



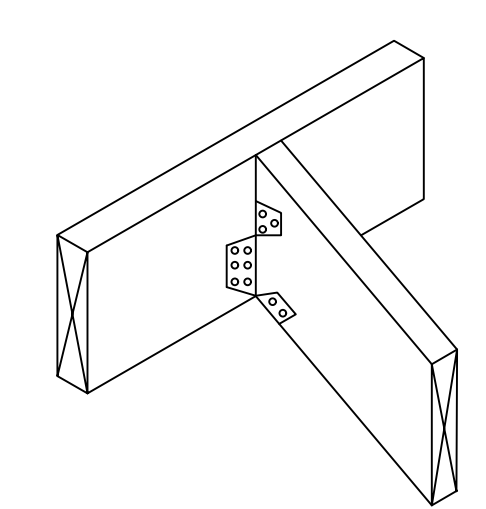
5 PROPOSED GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"

GUILOR ARCHITECTS
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN
17 RAVINE RD., GREAT NECK, N Y 11023
516-482-6777

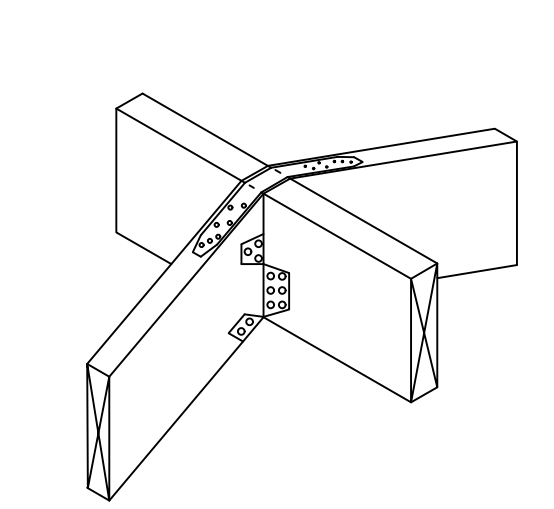


PROJECT TITLE	SACHAR RESIDENCE
LOCATION	10 GRACE COURT NORTH GREAT NECK, NY 11021
SHEET TITLE	PROPOSED GARAGE PLAN/ELEVATIONS/SECTION
DATE:	8.02.21
NO.	09.15.21
DOB APP.	
SHEET NO.	A3.2

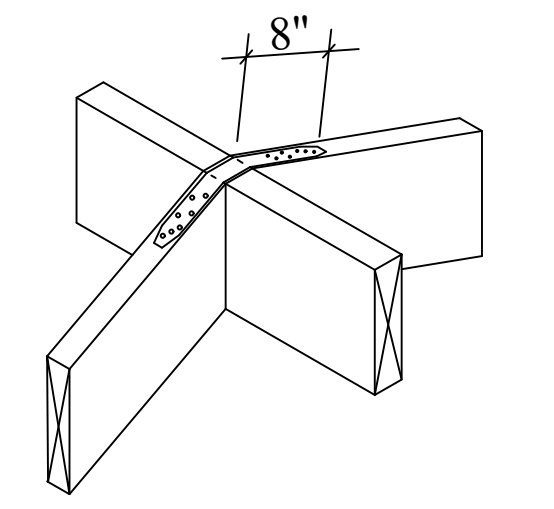
NOTICE: THIS DRAWING HAS BEEN PREPARED FOR THE SPECIFIC PROJECT INDICATED, AND IS AN INSTRUMENT OF SERVICE, COPYRIGHTED BY, AND THE SOLE PROPERTY OF, EDNA GUILOR, AIA. THIS DRAWING MAY NOT BE COPIED OR USED, IN WHOLE OR IN PART, BY ANY PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF EDNA GUILOR, AIA. INFRINGEMENTS OR ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSES WILL BE PROSECUTED TO THE FULL EXTENT OF CRIMINAL AND CIVIL LAW.



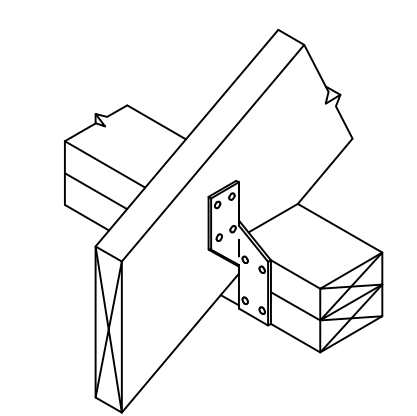
1 ADJUSTABLE HANGER
SIMPSON STRONG-TIE
LSI26-2X6
LSI28-2X8/2X10/2X12



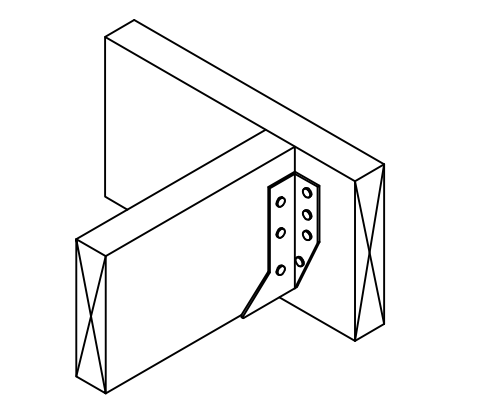
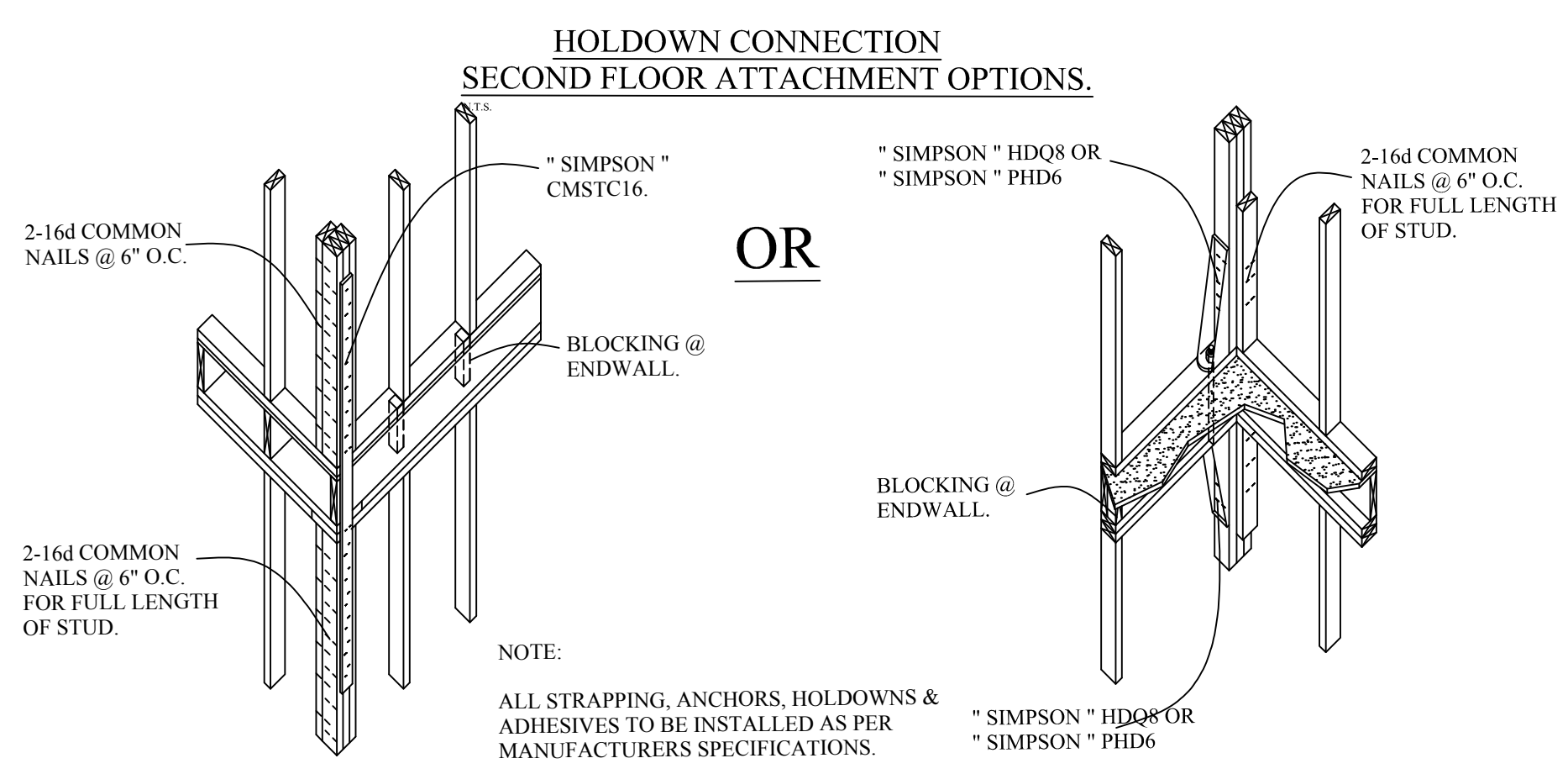
2 STRUCTURAL RIDGE
SIMPSON STRONG-TIE
CATHEDRAL CEILING
LSI26-2X6
LSI28-2X8/2X10/2X12
CS-20 X18 MIN. WITH (7) HD COMMON NAILS PER RAFTER INSTALLED OVER PLYWOOD



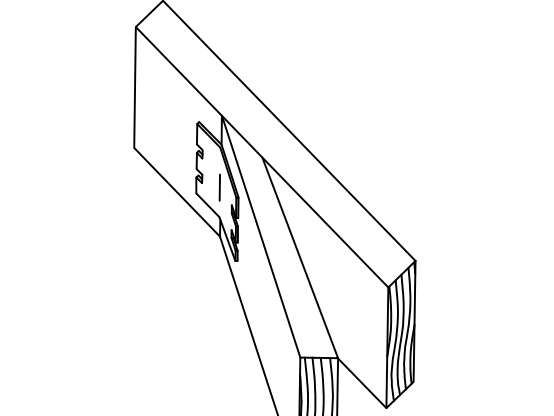
3 RIDGE
SIMPSON STRONG-TIE
WITH CEILING COLLAR TIES
AT 48" O.C. CS-20X18 MIN.
WITH (7) 100 COMMON NAILS PER RAFTER INSTALLED OVER PLYWOOD



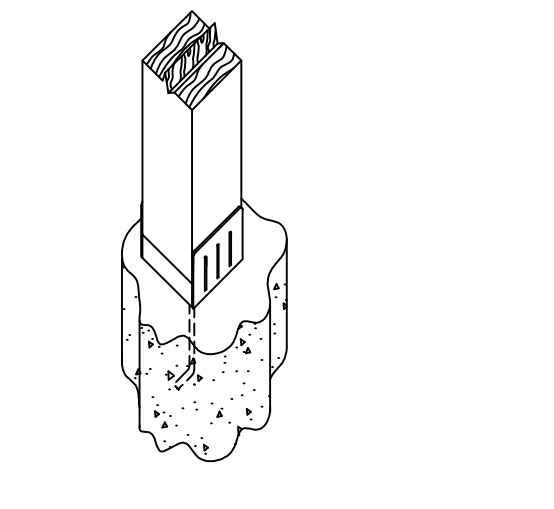
4 HURRICANE CLIP
SIMPSON STRONG-TIE (012.5A)
INSTALLATION OVER PLYWOOD
IS ACCEPTABLE AS PER MAN. NAIL PENETRATION (C-2003 PG. 11)



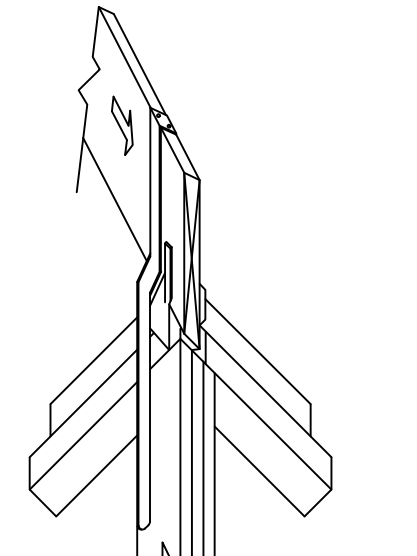
5 FACE MOUNT HANGER
SIMPSON STRONG-TIE (LUS)
LUS26, LUS28, LUS26-2, LUS28-2, LUS210, LUS210-2



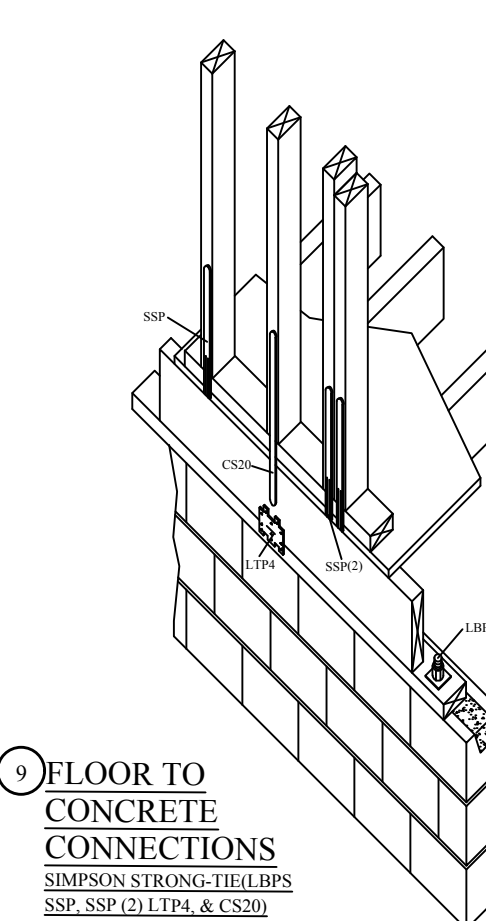
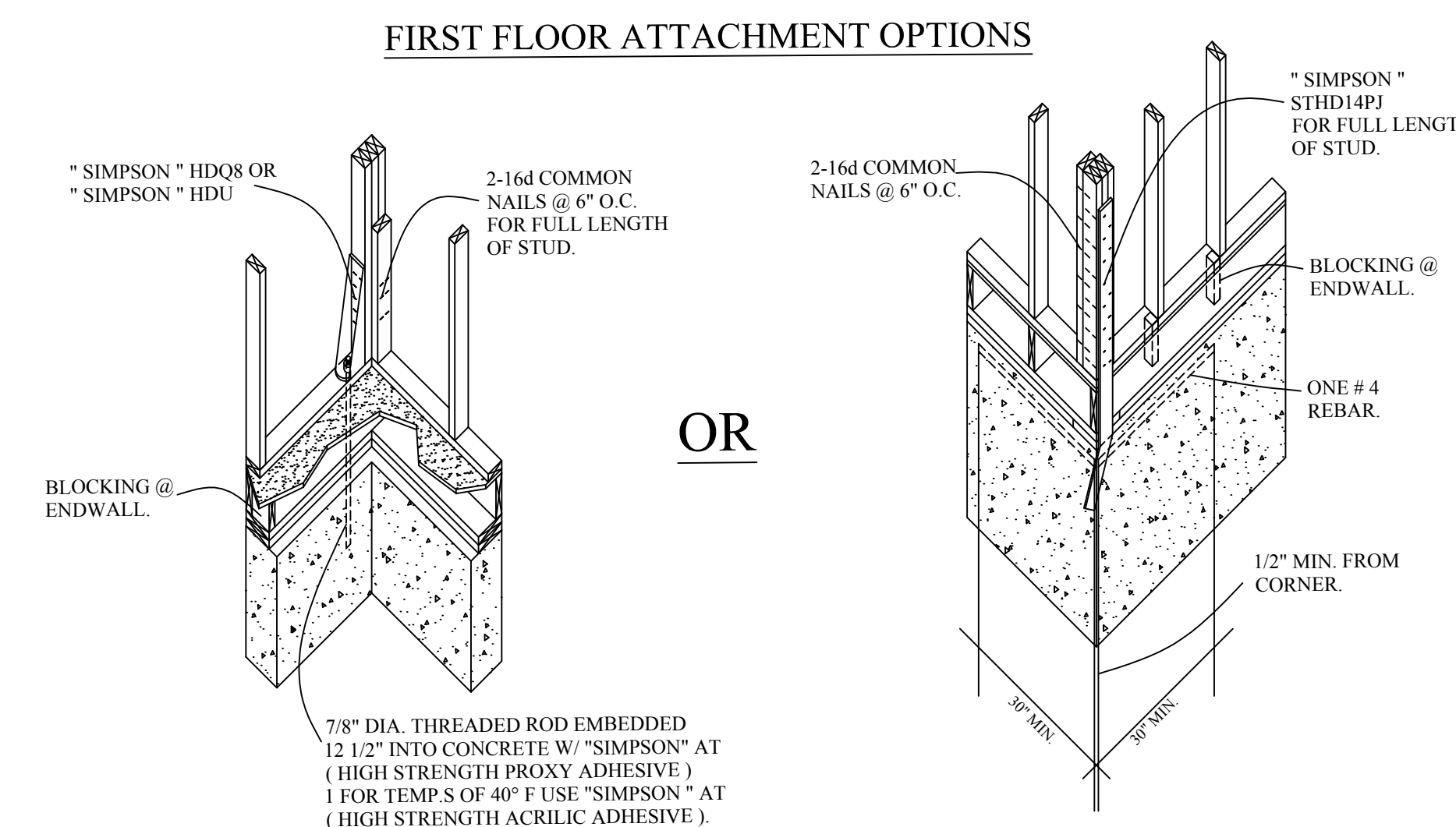
6 HIP RAFTER
SIMPSON STRONG-TIE (HRP)



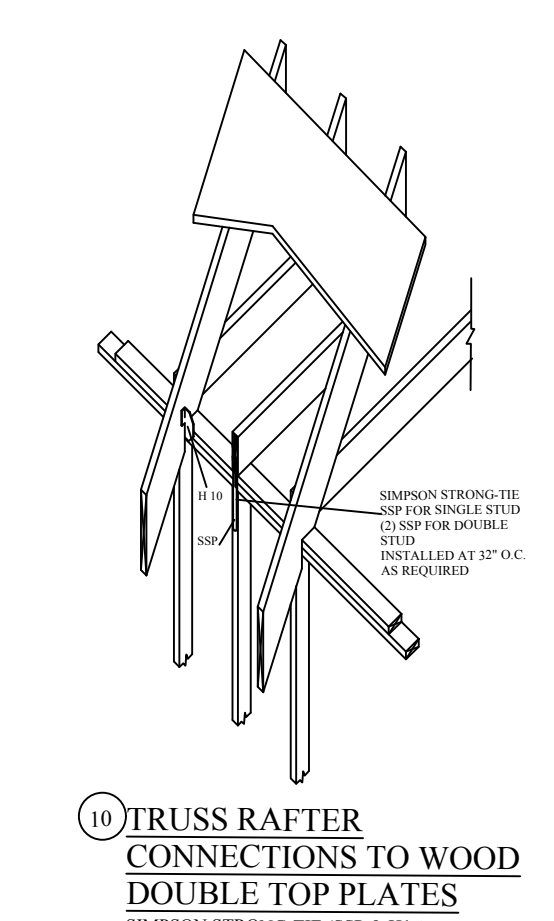
7 POST BASE
SIMPSON STRONG-TIE (ABA44)



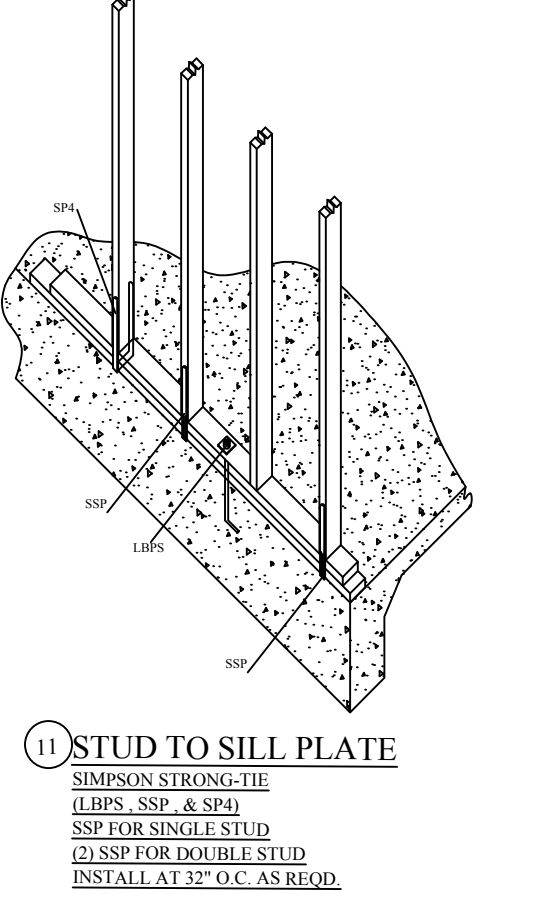
8 HIP CORNER PLATE
SIMPSON STRONG-TIE (HCP)
HCP2-2X MEMBER SIZE
HCP4-4X MEMBER SIZE



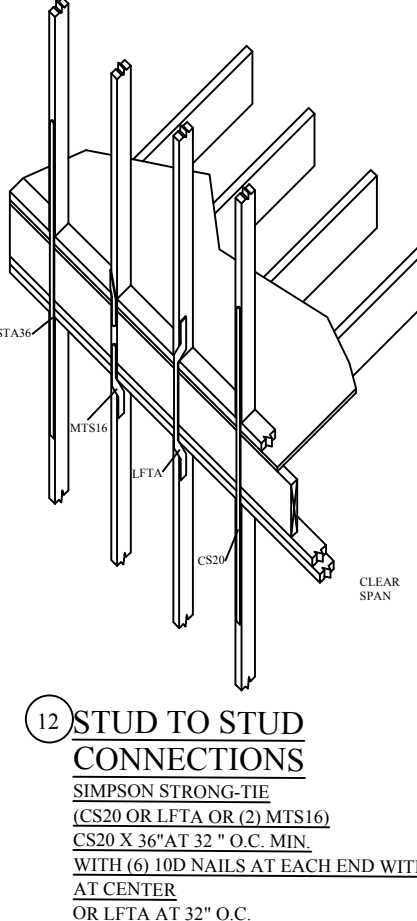
9 FLOOR TO CONCRETE CONNECTIONS
SIMPSON STRONG-TIE (LHS, SSP, LTP4, & CS20)
SSP, SSP (L), LTP4, & CS20
CS20X24" AT 32" O.C.



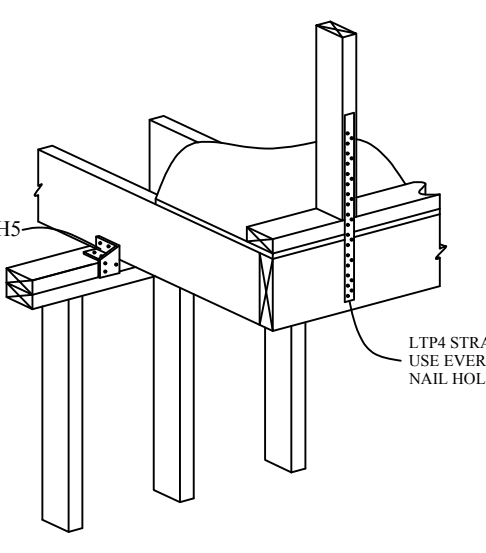
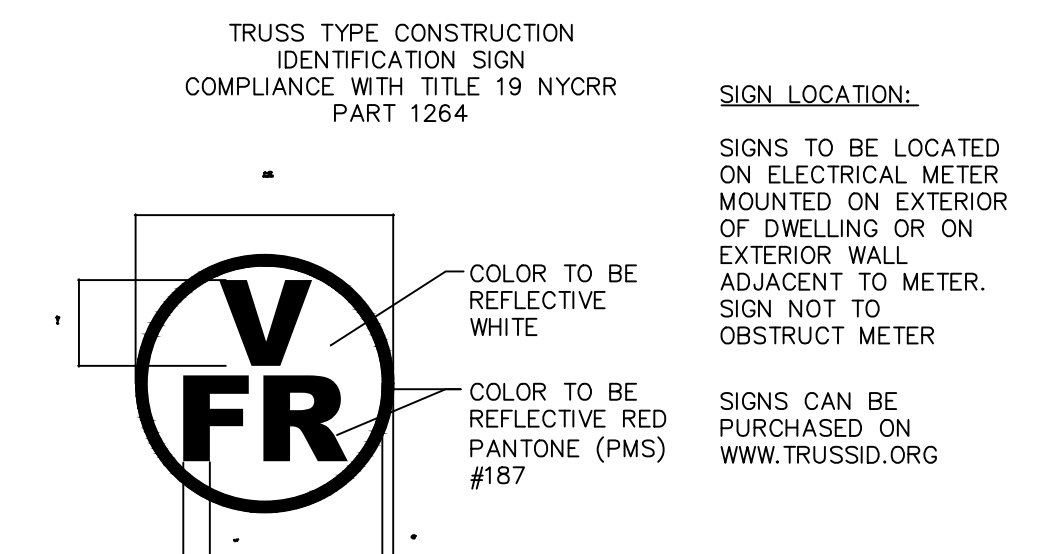
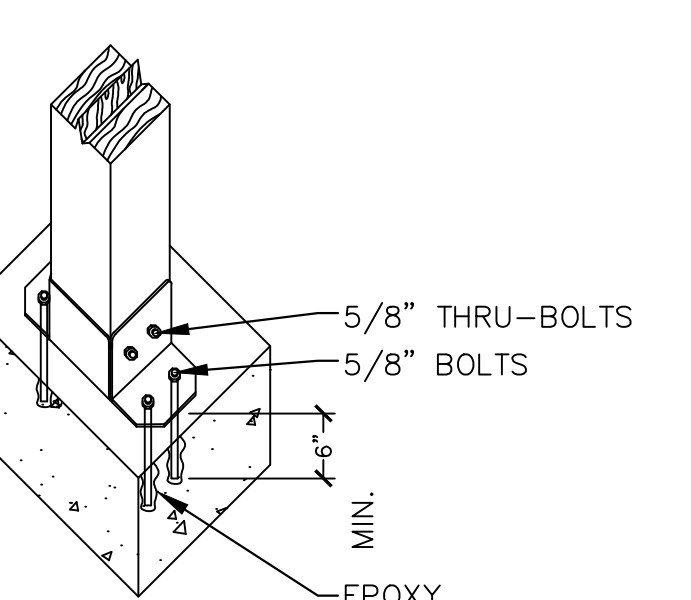
10 TRUSS RAFTER CONNECTIONS TO WOOD DOUBLE TOP PLATES
SIMPSON STRONG-TIE (SSP & H10)



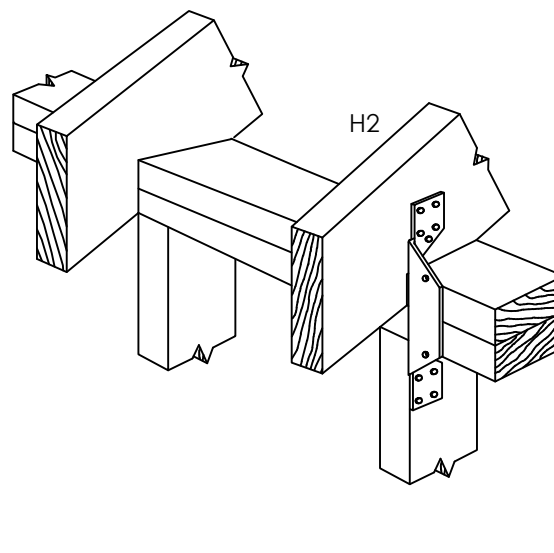
11 STUD TO SILL PLATE
SIMPSON STRONG-TIE
LHS, SSP, & SSI4
SSP FOR SINGLE STUD
(2) SSP FOR DOUBLE STUD
INSTALL AT 32" O.C. AS REQ'D.



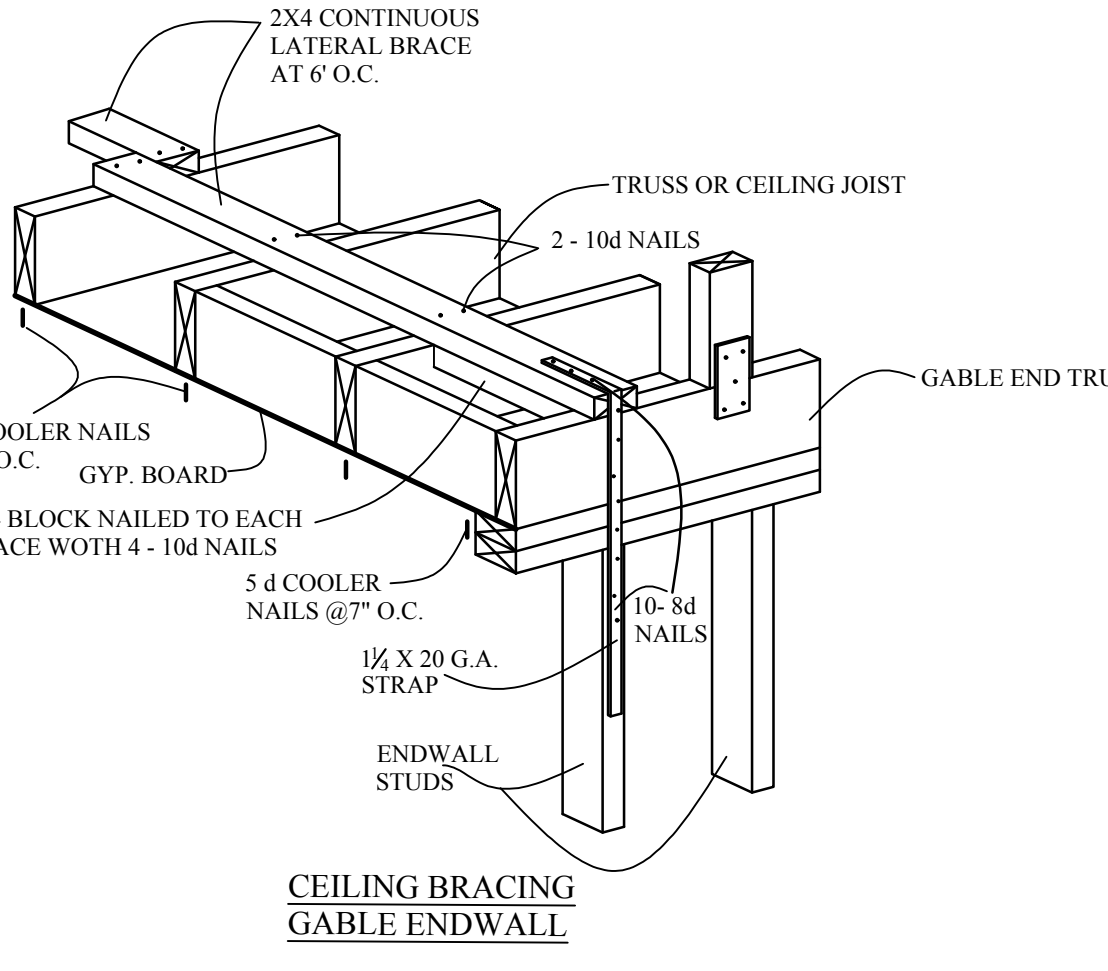
12 STUD TO STUD CONNECTIONS
SIMPSON STRONG-TIE
LHS OR LTP4 OR (2) MTS10
CS20 X 30 AT 32" O.C. MIN.
WITH (6) 10d NAILS AT EACH END WITH (1) 10d AT CENTER
OR LTP4 AT 32" O.C.
OR (2) MTS16 AT 32" O.C.



13 CANTILEVER SIMPSON STRONG-TIE
H5, LTP4



14 RAFTER TO PLATE TO STUD
SIMPSON STRONG-TIE (H2)

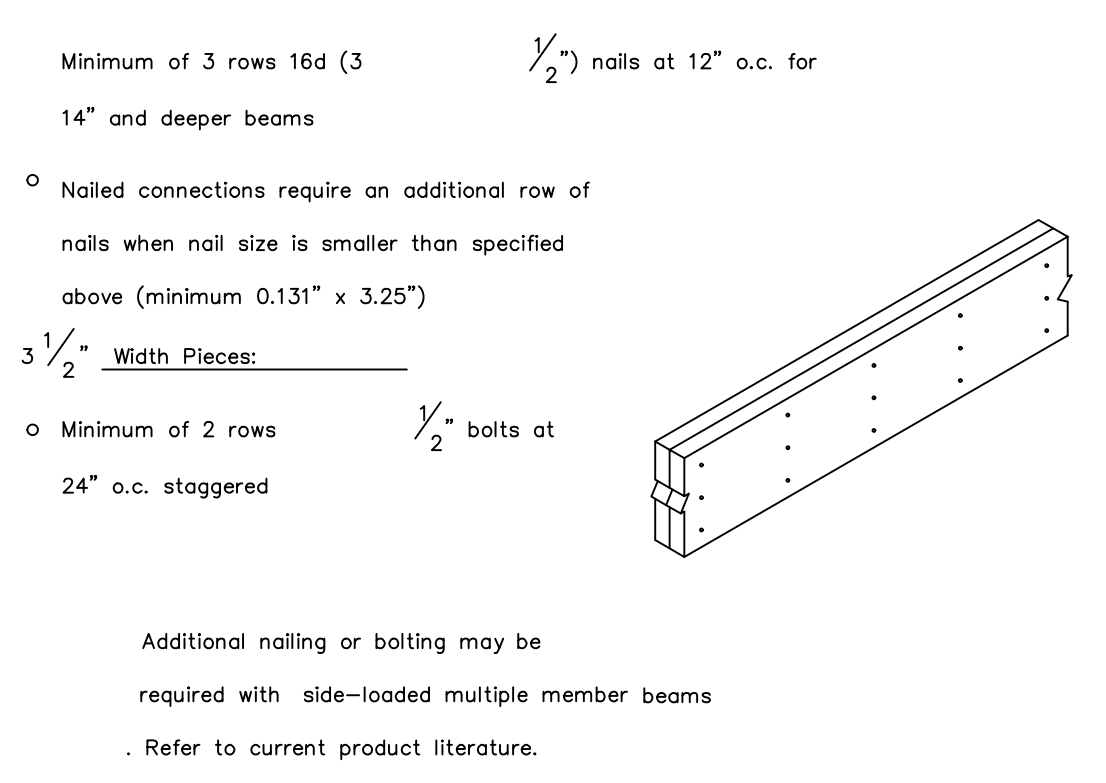
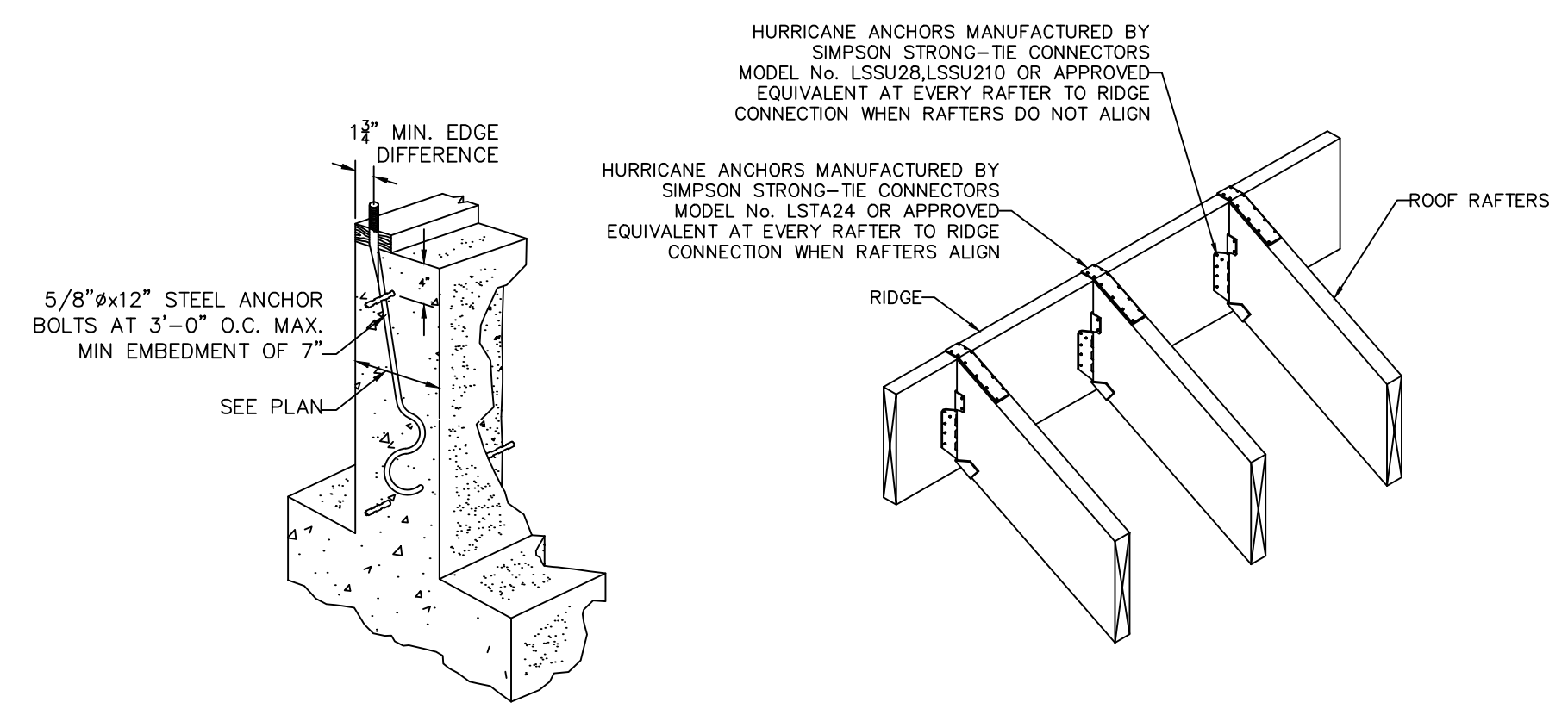
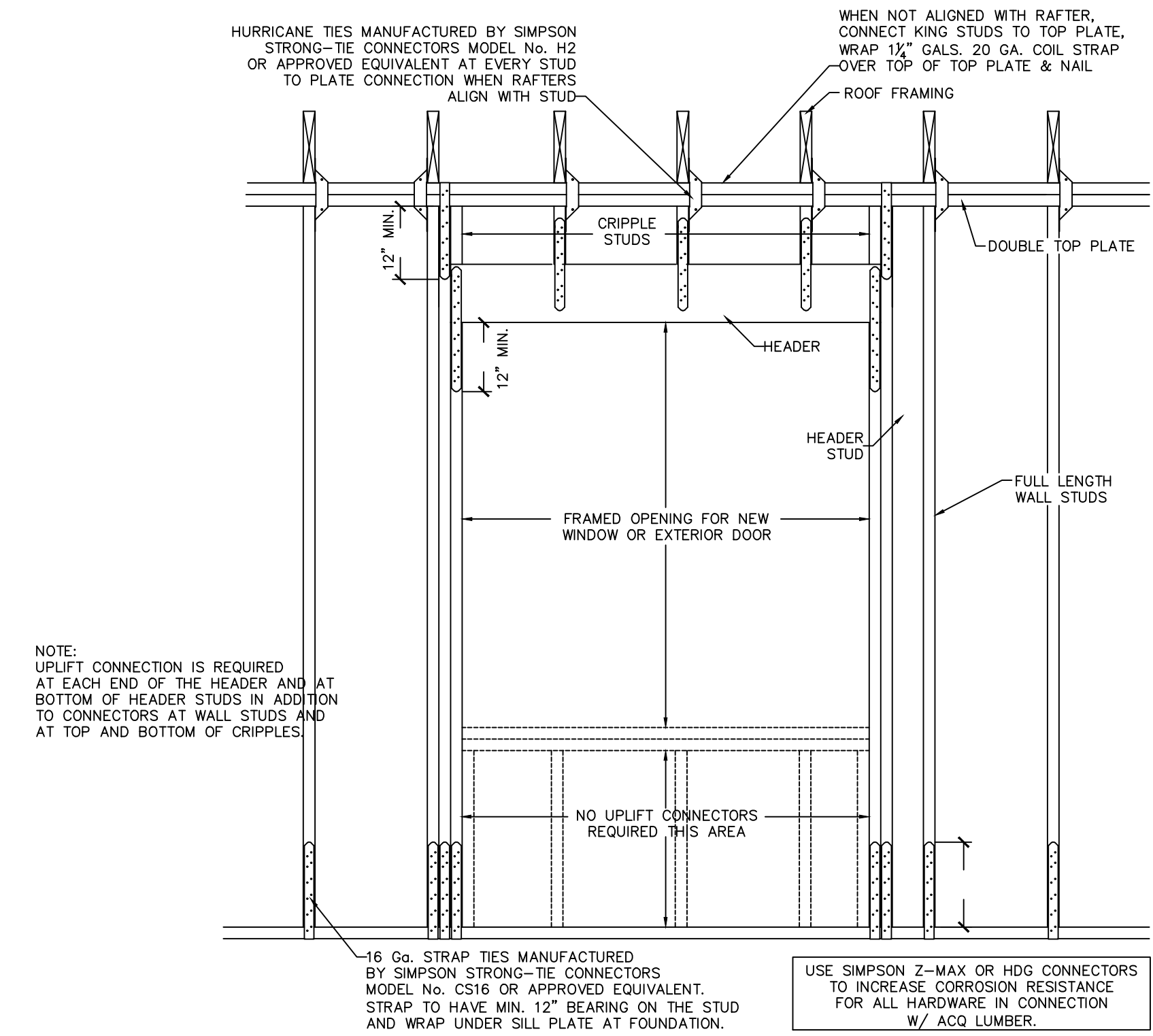
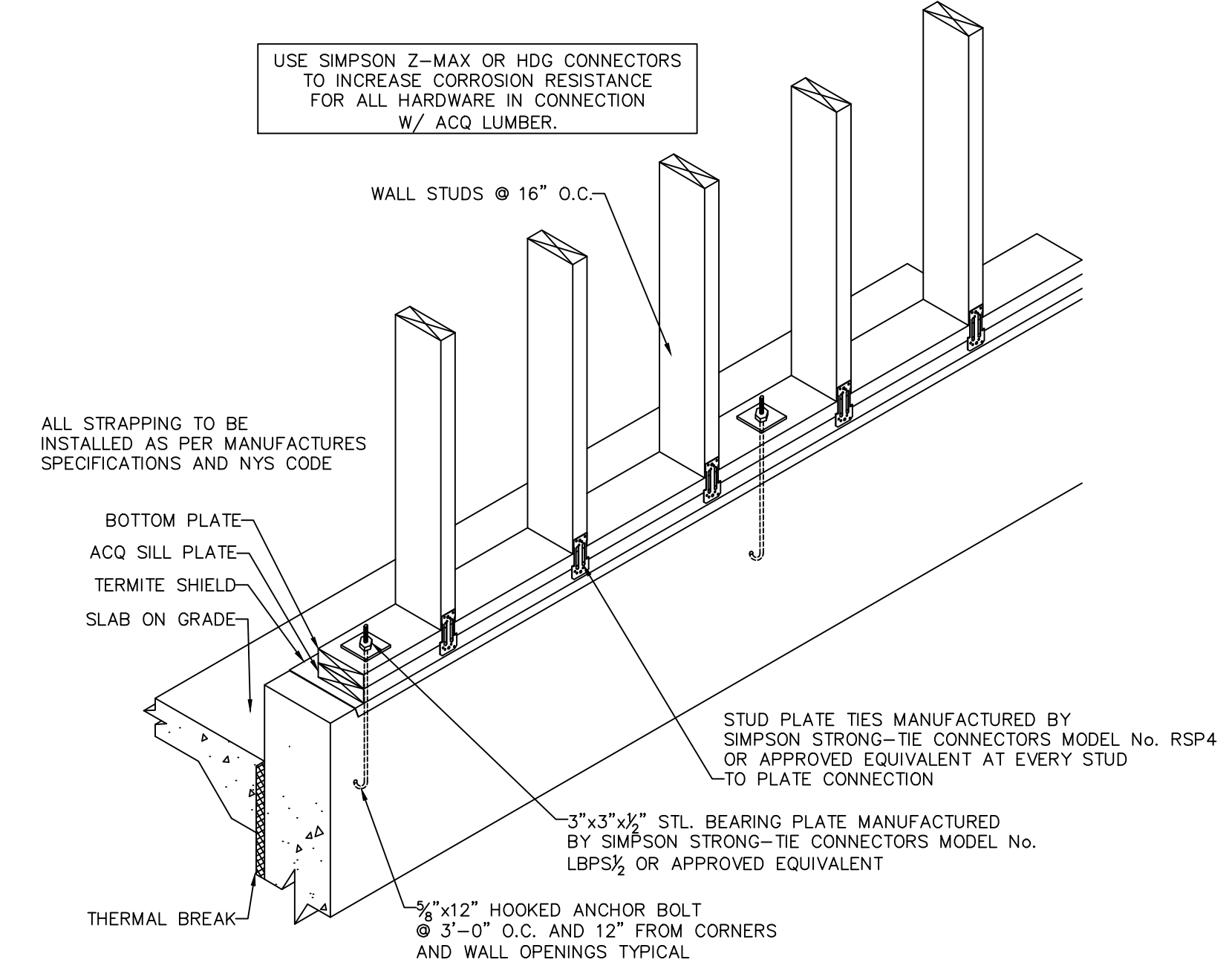
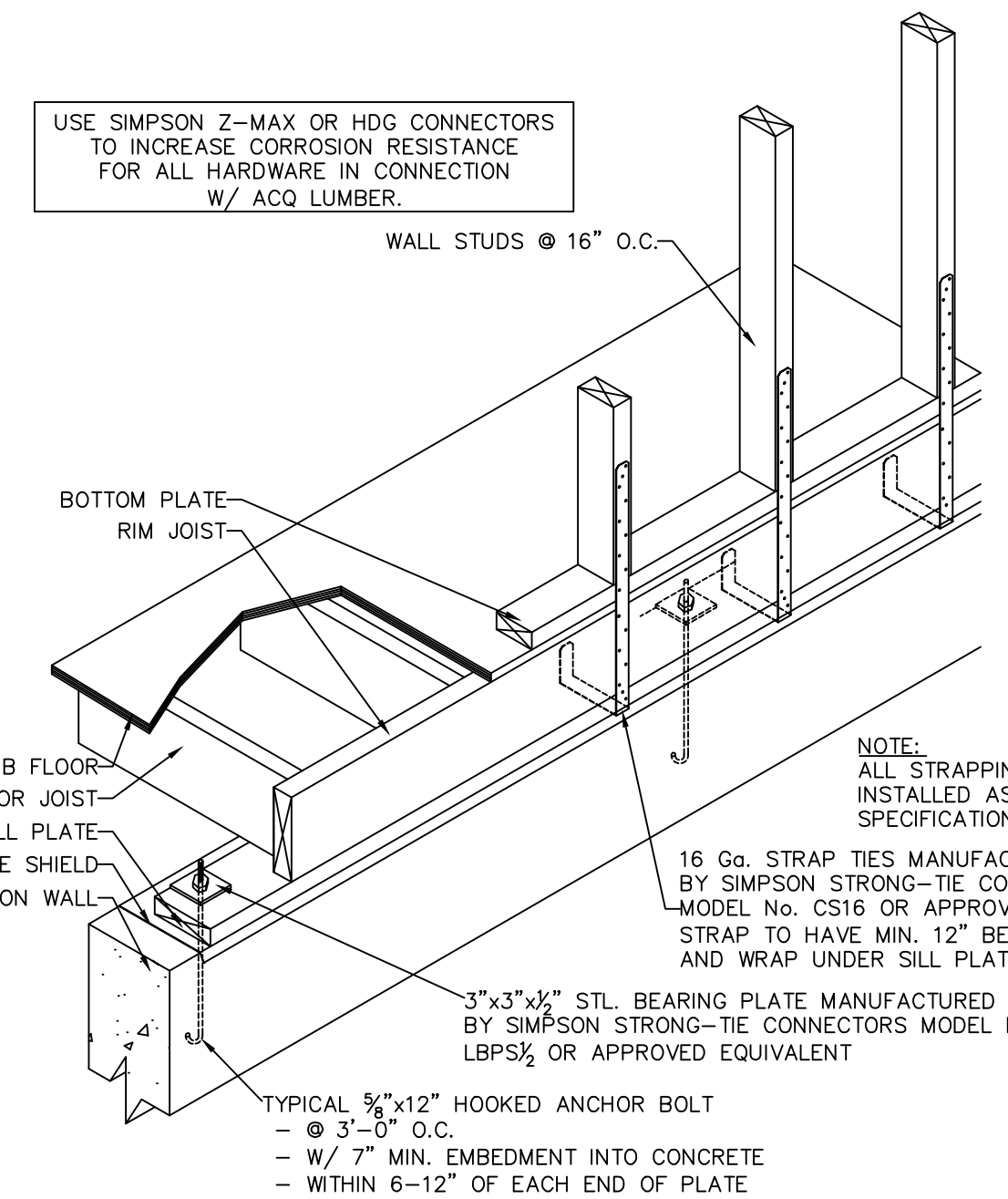
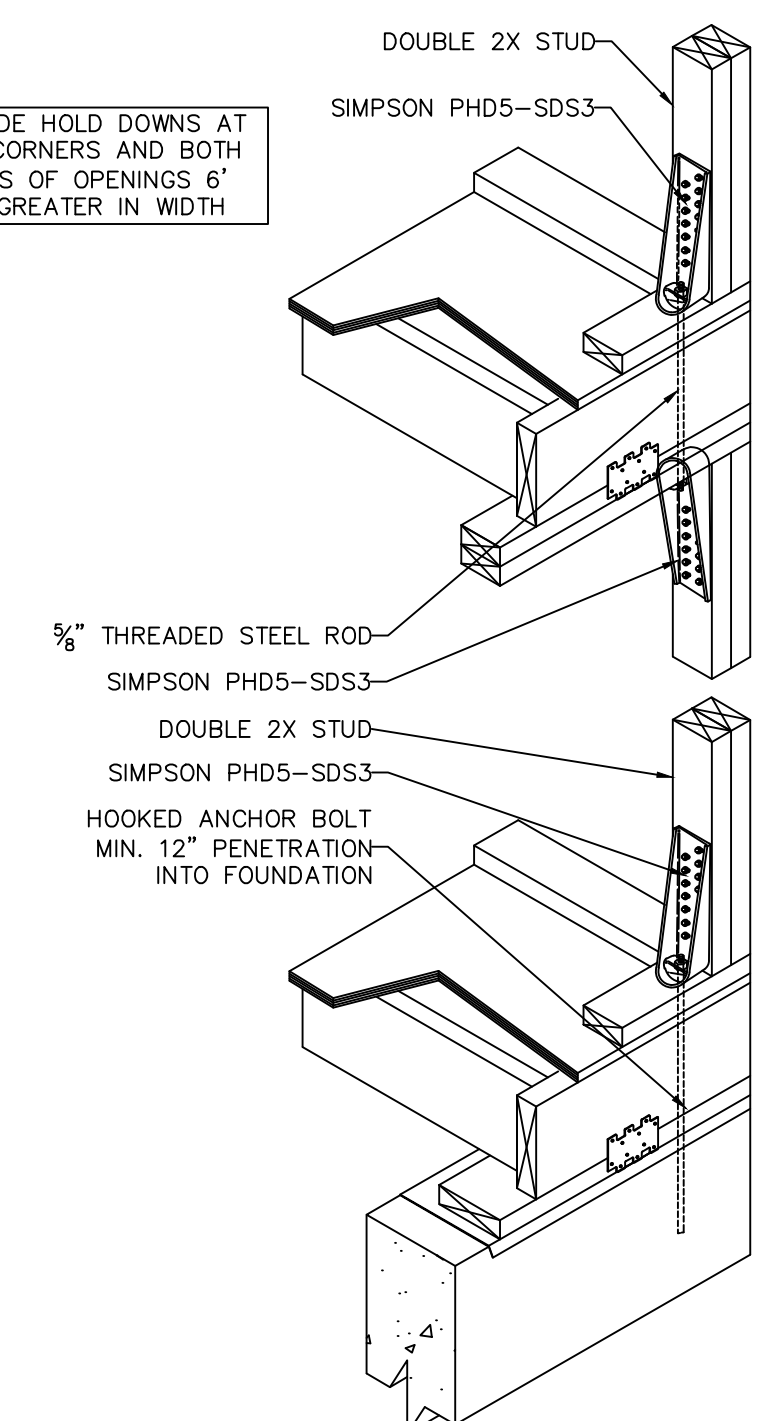
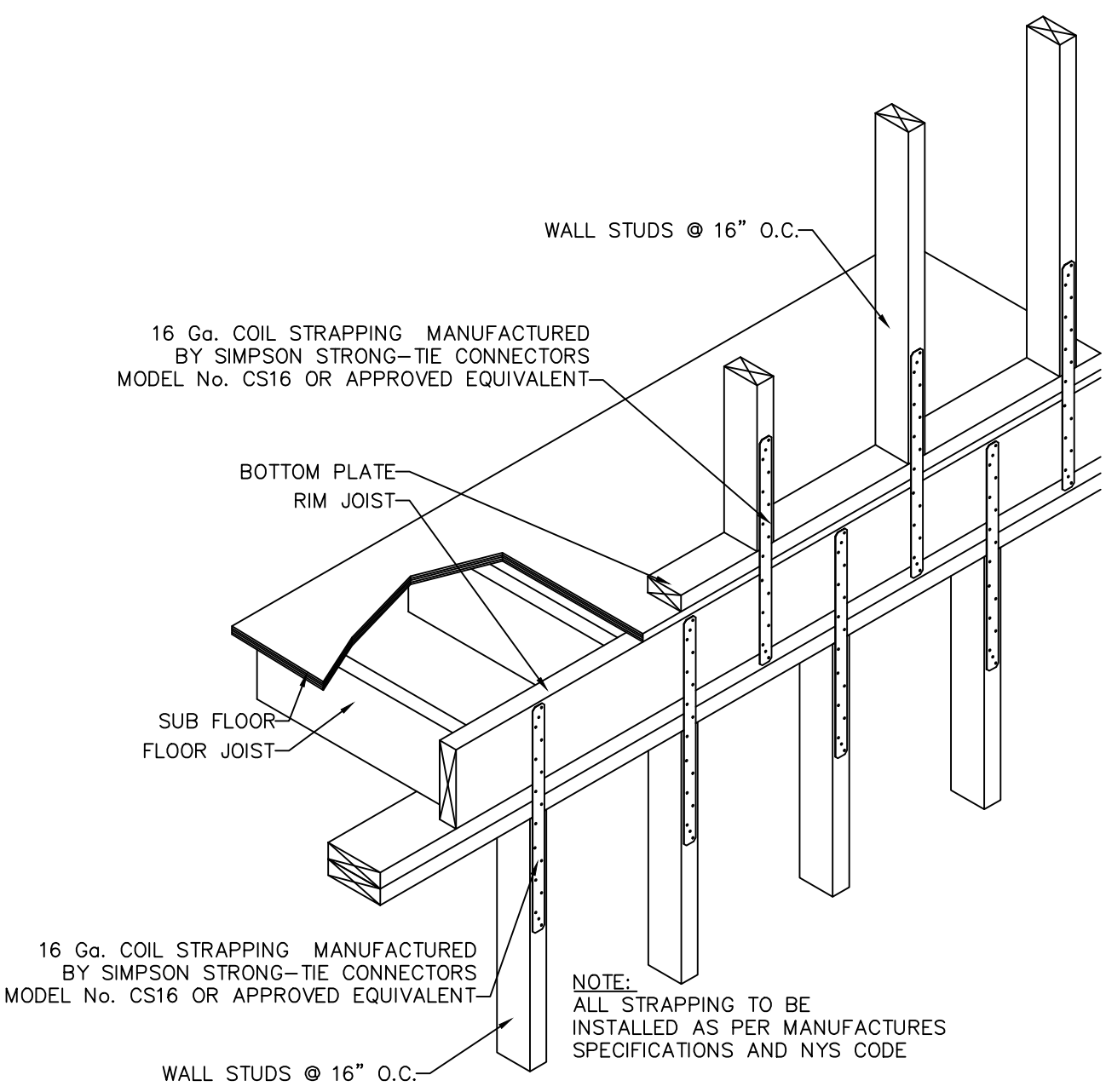
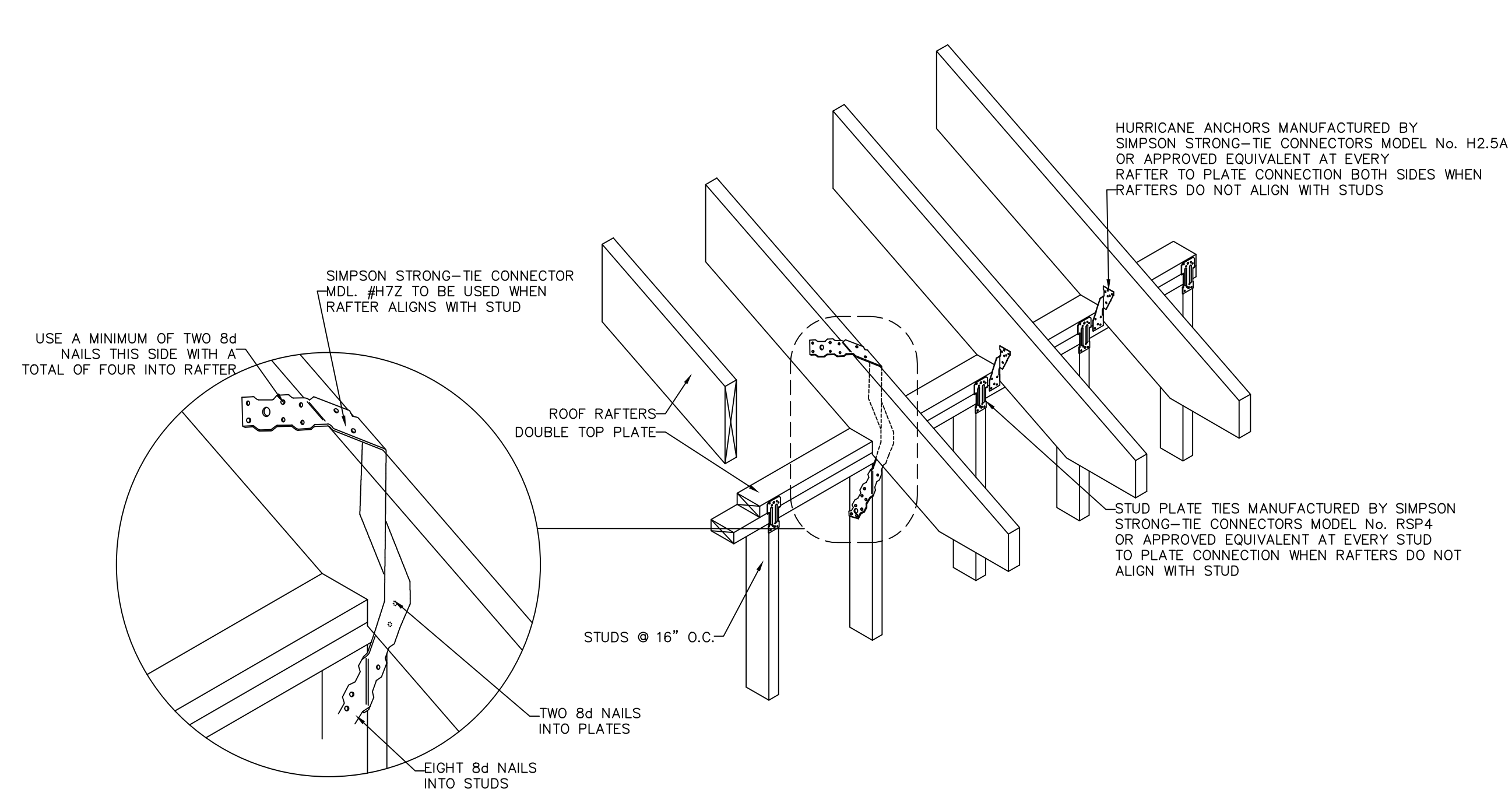


GUILOR ARCHITECTS
ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN
17 RAVINE RD., GREAT NECK, N Y 11023
516-482-6777

Edna Guilor
EDNA GUILOR ARCHITECT
LICENSED PROFESSIONAL ARCHITECT
STATE OF NEW YORK

PROJECT TITLE	SACHAR RESIDENCE
LOCATION	10 GRACE COURT NORTH, GREAT NECK NY 11021
SHEET TITLE	FRAMING CONNECTIONS
DATE:	09.15.21
NO.	DOB. APP.
SHEET NO.	S1.0
	8 OF 9

NOTICE: THIS DRAWING HAS BEEN PREPARED FOR THE SPECIFIC PROJECT INDICATED, AND IS AN INSTRUMENT OF SERVICE, COPYRIGHTED BY, AND THE SOLE PROPERTY OF, EDNA GUILOR, AIA. THIS DRAWING MAY NOT BE COPIED OR USED, IN WHOLE OR IN PART, BY ANY PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF EDNA GUILOR, AIA. INFRINGEMENTS OR ANY USE OF THIS DRAWING FOR ANY OTHER PURPOSES WILL BE PROSECUTED TO THE FULL EXTENT OF CRIMINAL AND CIVIL LAW.



GUILOR ARCHITECTS
 ARCHITECTURE • SPACE PLANNING • INTERIOR DESIGN
 17 RAVINE RD., GREAT NECK, N Y 11023
 516-482-6777

Edna Guilor
 REGISTERED PROFESSIONAL ARCHITECT
 STATE OF NEW YORK

PROJECT TITLE	SACHAR RESIDENCE
LOCATION	10 GRACE COURT NORTH, GREAT NECK NY 11021
SHEET TITLE	STRAPPING CONNECTIONS
DATE	09.15.21
NO.	DOB APP.
SHEET NO.	S2.0
	9 OF 9